

CITY OF UNLEY
COUNCIL ASSESSMENT PANEL

Dear Member

I write to advise of the Council Assessment Panel Meeting to be held on Tuesday 18 May 2021 at 6:30pm in the Unley Council Chambers, 181 Unley Road Unley.



Gary Brinkworth
ASSESSMENT MANAGER

Dated 14/04/2021

ACKNOWLEDGEMENT

We would like to acknowledge this land that we meet on today is the traditional lands for the Kaurna people and that we respect their spiritual relationship with their country. We also acknowledge the Kaurna people as the custodians of the Adelaide region and that their cultural and heritage beliefs are still as important to the living Kaurna people today.

CITY OF UNLEY
COUNCIL ASSESSMENT PANEL

18 May 2021

MEMBERS:

Mr Brenton Burman (Presiding Member)
Mrs Colleen Dunn
Mr Ross Bateup
Mrs Emma Wright

APOLOGIES:

Mr Michael McKeown

CONFLICT OF INTEREST:

CONFIRMATION OF MINUTES:

MOVED:

SECONDED:

That the Minutes of the City of Unley, Council Assessment Panel meeting held on Tuesday 20 April 2021, as printed and circulated, be taken as read and signed as a correct record.

A G E N D A

Apologies
Conflict of Interest
Confirmation

Item No	Development Application	Page
1.	91 Alfred St Parkside – 965/2020/C2	4-47
2.	5 Selkirk Ave Black Forest – 96/2021/C2	48-82
3.	60 Addison Road Black Forest – 13/2021/C2	83-102
4.	5 Arundel Ave Millswood – 810/2017/C2/A	103-139
5.	95 Cambridge Tce Malvern – 837/2020/C2	140-173

Any Other Business

Matters for Council's consideration

ITEM 1**DEVELOPMENT APPLICATION – 090/965/2020/C2 – 91 ALFRED STREET, PARKSIDE 5063 (PARKSIDE)**

DEVELOPMENT APPLICATION NUMBER:	090/965/2020/C2
ADDRESS:	91 Alfred Street, Parkside 5063
DATE OF MEETING:	18 May 2021
AUTHOR:	Paul Weymouth
DEVELOPMENT PROPOSAL:	Carry out alterations and construct additions including upper storey, garage, verandah and in-ground swimming pool
HERITAGE VALUE:	Contributory
DEVELOPMENT PLAN:	15 October 2020
ZONE:	Residential Historic (Conservation) Zone Policy Area 2 - Compact Historic Parkside St. Ann's Estate
APPLICANT:	J A C Kitson
OWNER:	J A C Kitson
APPLICATION TYPE:	Merit
PUBLIC NOTIFICATION:	Category 2
REPRESENTATIONS RECEIVED:	YES – (4 opposed)
CAP'S CONSIDERATION IS REQUIRED DUE TO:	Unresolved representations
RECOMMENDATION:	Approval
KEY PLANNING ISSUES:	Building bulk / mass Streetscape character Amenity impacts Wall on boundary

1. PLANNING BACKGROUND

No relevant Planning Background.

2. DESCRIPTION OF PROPOSAL

The proposal is for the construction of additions to the side and rear of an existing dwelling that comprise a new upper storey, ground floor living areas and a bathroom. The additions are designed with flat roofs and materials that include render and Scyon Axon wall cladding finished in Basalt and Monument and aluminium frame windows and doors.

A flat roof garage is to be constructed to the rear between the new addition and rear laneway. The side wall of the garage is sited on the eastern boundary for a length of 6.9 metres and height of 3.0 metres. A flat roof verandah is also proposed adjacent to the rear laneway.

A new in-ground swimming pool will be installed between the new additions and the Stamford Street frontage.

3. SITE DESCRIPTION

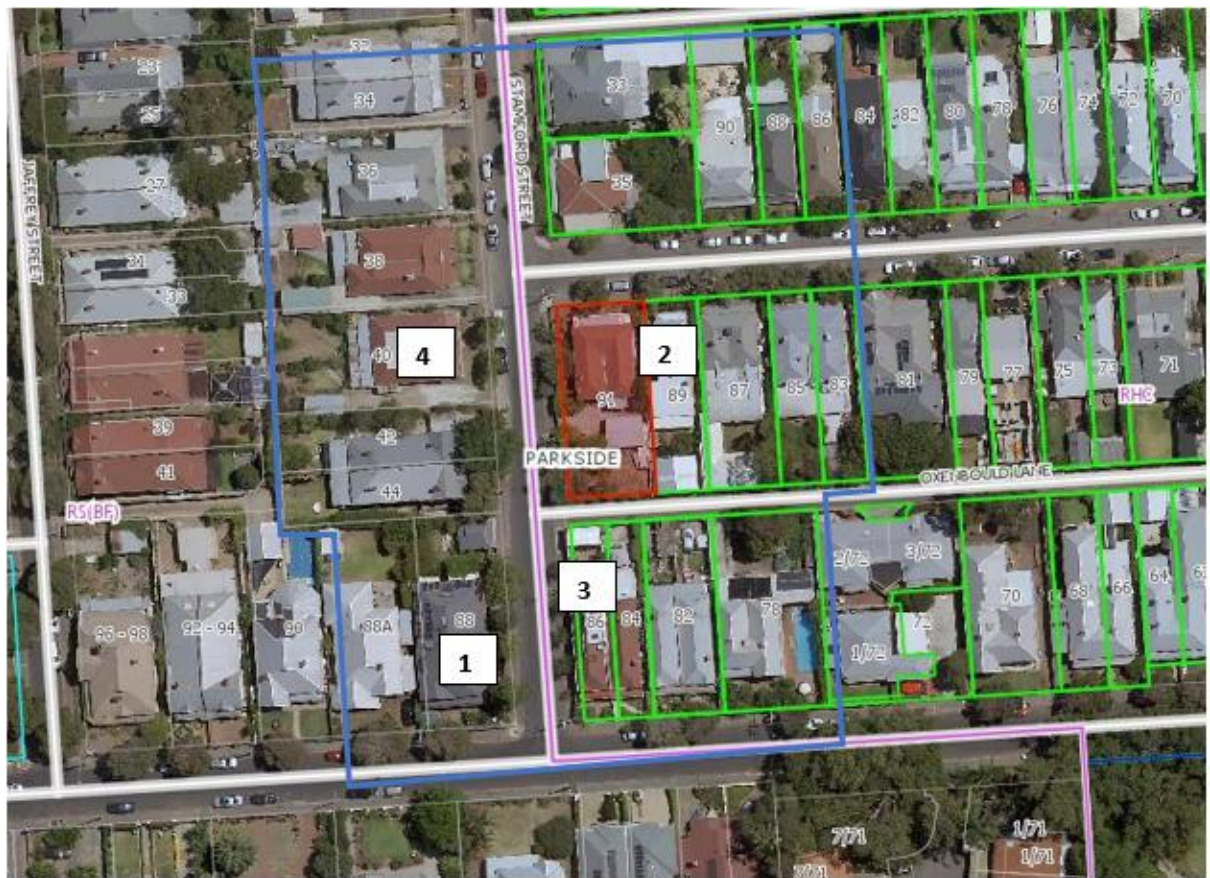
The subject land is a residential allotment located at 91 Alfred Street, Parkside. The land has frontage to Alfred Street and Stamford Street and backs onto Oxenbould Lane.

The land is a rectangular shape allotment with a frontage of 15.24 metres to Alfred Street and a total site area of 511m². There are no easements, encumbrance or Land Management Agreement registered on the Certificate of Title.

Currently occupying the land is a single storey detached dwelling that is identified as a Contributory Item. There is also a garage in the rear yard. The land is relatively flat.

There are no Regulated trees on the site or on adjoining properties.

4. LOCALITY PLAN



Subject Site



Locality



Representations

5. LOCALITY DESCRIPTION

Land Use

The locality is entirely residential in land use. Existing development comprises predominantly of detached dwellings at low densities.

Land Division/Settlement Pattern

The original allotment layout and development pattern is largely intact. Allotments are typically rectangular with relatively consistent road boundary setbacks.

Dwelling Type / Style and Number of Storeys

Existing dwellings include traditional cottages and villas of single storey scale.

Fencing Styles

Fencing is typically low with varying styles that include solid brick, timber pickets, brush and wire mesh.

6. STATUTORY REFERRALS

No statutory referrals required.

7. NON-STATUTORY (INTERNAL) REFERRALS

No non-statutory (internal) referrals were undertaken.

8. PUBLIC NOTIFICATION

Category 2 notification was undertaken in accordance with Table Un/8 of the Unley Development Plan. During the ten (10) business day notification period four (4) representation were received as detailed below:

86 Young Street, Parkside (oppose)	
ISSUES RAISED	APPLICANTS RESPONSE
The modern addition is out of character with the area	The Zone provisions do not intend for new development to replicate historic architectural styles or details. The policy explicitly states that buildings should be of a " <i>high quality contemporary design and not replicate historic styles</i> ". The proposed extension purposefully presents as a markedly contemporary building, with a form and materiality that provides contrast with the prevailing dwelling.
Visual impact	The predominant portion of the resulting dwelling will satisfy the building height provisions.
88 Young Street, Parkside (oppose)	
ISSUES RAISED	APPLICANTS RESPONSE
Building scale, mass and height not compatible with existing development	<p>The proposed building extension does not satisfy the relevant quantitative figures for the CH2 Policy Area. It is however pertinent to note that when considering the development wholistically, the predominant portion of the resulting dwelling will satisfy the building height provisions.</p> <p>The utilisation of the existing dwelling within the redevelopment ensures that the single storey dwelling form remains the primary street fronting building element and represents an integral component of the overall development.</p>

Design and appearance does not reflect desired character	The Zone provisions do not intend for new development to replicate historic architectural styles or details. The policy explicitly states that buildings should be of a <i>“high quality contemporary design and not replicate historic styles”</i> . The proposed extension purposefully presents as a markedly contemporary building, with a form and materiality that provides contrast with the prevailing dwelling.
Overlooking impacts	The potential for overlooking into the property at 88 Young Street is inhibited by the distance between the properties, the presence of intervening structures and the presence of street trees. The applicant has agreed to provide fixed vertical fins to act as screening devices, as depicted on the amended plans.
89 Alfred Street, Parkside (oppose)	
ISSUES RAISED	APPLICANTS RESPONSE
Two storey addition is out of character with the area	The Zone provisions do not intend for new development to replicate historic architectural styles or details. The policy explicitly states that buildings should be of a <i>“high quality contemporary design and not replicate historic styles”</i> . The proposed extension purposefully presents as a markedly contemporary building, with a form and materiality that provides contrast with the prevailing dwelling.
Visual impact	The predominant portion of the resulting dwelling will satisfy the building height provisions. Amendments have been made to the eastern side of the proposed additions to minimise the visual impact.
40 Stamford Street, Parkside (oppose)	
ISSUES RAISED	APPLICANTS RESPONSE
Overlooking impacts	The applicant has agreed to provide fixed vertical fins to act as screening devices, as depicted on the amended plans.

(* denotes non-valid planning considerations)

9. DEVELOPMENT DATA

Site Characteristics	Dwelling Additions, Verandah & Garage	Development Plan Provision
Total Site Area	511m ²	Existing
Frontage	15.24m	Existing
Depth	33.53m	Existing
Building Characteristics		
Floor Area		
Ground Floor	320m ²	
Site Coverage		
Roofed Buildings	63%	<input type="checkbox"/> 50% of site area
Total Impervious Areas	77%approx.	<input type="checkbox"/> 70% of site
Total Building Height		
From ground level	6.9m	5.7m
From ground level of the adjoining affected land	6.9m approx.	
Setbacks		
Ground Floor		
Front boundary (north)	Rear of dwelling Ensuite – 5.2m	4.0m
Side boundary (east)	1.0m	1.0m
Side boundary (west)	1.3m	1.0m
Rear boundary (south)	6.7m Garage – 600mm	5.0m
Upper Floor		
Front boundary (north)	17.0m	Behind primary street facade
Side boundary (east)	3.0m	3m
Side boundary (west)	5.0m	3m
Rear boundary (south)	6.7m	8m
Wall on Boundary - Garage		
Location	Eastern boundary	
Length	6.9m	<input type="checkbox"/> 9m or <input type="checkbox"/> 50% <input type="checkbox"/> of the boundary length, whichever is the lesser
Height	3.0m	<input type="checkbox"/> 3m
Private Open Space		
Min Dimension	4m+	<input type="checkbox"/> 4m minimum
Total Area	135m ² + (26%)	<input type="checkbox"/> 20%
Car parking and Access		
On-site Car Parking	2 spaces	2 per dwelling
Colours and Materials		
Roof	Colorbond sheeting	
Walls	Render (Basalt) Scyon Axon (Monument)	

(items in **BOLD** do not satisfy the relevant Principle of Development Control)

10. ASSESSMENT

Zone Desired Character and Principles of Development Control

Residential Historic (Conservation) Zone
<p><i>Objective 1: Conservation and enhancement of the heritage values and desired character described in the respective policy areas, exhibited in the pattern of settlement and streetscapes of largely intact original built fabric.</i></p> <p><i>Objective 2: A residential zone for dwellings primarily in street-fronting format, together with the use of existing buildings and sites used for non-residential purposes for small-scale local businesses and community facilities supporting an appealing, pleasant and convenient living environment.</i></p> <p><i>Objective 3: Retention, conservation and enhancement of contributory items, and the complementary replacement or redevelopment of non-contributory buildings.</i></p> <p><i>Objective 4: Sensitive adaptation of contributory items for alternate, small household, living where offering tangible benefit in the retention and refurbishment of such items.</i></p>
Desired Character
<p><u>Heritage Value</u></p> <p><i>The Residential Historic (Conservation) Zone and its 7 policy areas have particular significance to the history of Unley's settlement. These areas tell a story about life in the late 19th and early 20th Century, and of the features and circumstances of the original European communities in Unley. It is for this reason, as well as the appealing and coherent streetscapes of largely intact original building stock, that these areas merit particular attention and protection.</i></p> <p><i>The important defining heritage values and statements of desired character are expressed for each of the zones seven distinctive policy areas. These values stem from the original road layout and settlement patterns. There is a strong consistency and an identifiable pattern in the way buildings, of varying proportions, are sited and massed relative to the site sizes and widths of street frontages.</i></p> <p><i>There is also an identifiable rhythm of spaces between buildings and their street setbacks. Dwellings are of a traditional street-fronting format and adopt a strong street "address" with open front gardens and fencing, and with outbuildings and garaging being a recessive or minor streetscape element. There is also a consistency in the built fabric itself with characteristic use of building forms, detailing, materials and colours.</i></p> <p><u>Contributory Items</u></p> <p><i>A building making a positive contribution to the heritage value and desired character of the respective policy areas is termed a "contributory item". All contributory items are highly valued and ought not be demolished as this would significantly erode the integrity of the zone. Sensitive designed alterations and additions to a contributory item are appropriate, as are changes removing or making more positive contribution of discordant building features detracting from its contributory value. The adaptation of a contributory item for alternative</i></p>

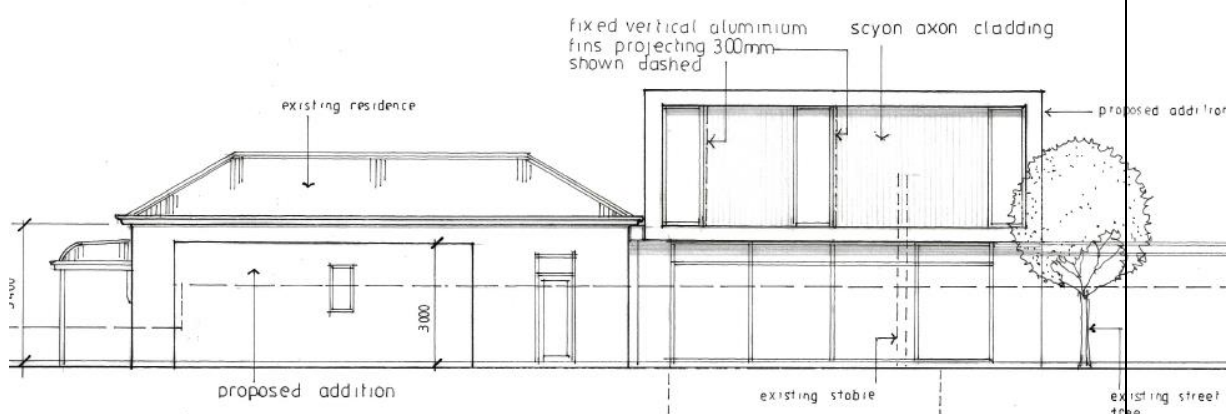
residential accommodation where this provides for the retention, and ongoing refurbishment, of such items is also appropriate.

Assessment

The Objectives of the Residential Historic (Conservation) Zone seek to conserve and enhance areas of historic significance, with importance given to the built form and spatial characteristics of the original settlement. Objective 3 and the Desired Character for the Zone identify the need for the retention, conservation and enhancement of Contributory Items as these buildings make a positive contribution to the heritage value of the area.

The existing dwelling on the land is identified as a Contributory Item. The proposal comprises a small single storey addition to the side of the dwelling and a two storey addition to the rear. Apart from a new opening at the rear of the dwelling and the removal of two small windows, the proposal would not alter the original form and features of the Contributory Item.

Although the proposed two storey additions are not designed to match the historic form and appearance of the existing dwelling, the siting of the additions to the rear of the dwelling and the flat roof design, will ensure the built form does not overwhelm the existing dwelling or the adjacent streetscapes even though the building is 1.2 metres taller than the recommended building height for the Policy Area. While the additions would be readily visible from Stamford Street, the setback distance of 5.0 metres to the upper storey and 1.0 metre to the single storey en-suite would ensure the existing streetscape character is adequately maintained.



Elevation drawing showing the height and scale of the proposed addition in relation to the existing dwelling and Stamford street

Relevant Zone Principles of Development Control	Assessment
<p>PDC 1 <i>Development should conserve and enhance the desired character as expressed for each of the seven policy areas.</i></p>	<p>The subject land is situated within Policy Area 2 – Compact Historic Parkside St. Ann's Estate. The Desired Character for this policy area requires new development to “conserve contributory items, in particular, single and double-fronted and attached cottages and villas and also</p>

Relevant Zone Principles of Development Control	Assessment
	<p><i>original school and church buildings</i>". As considered above, the siting of the upper storey to the rear of the dwelling and the recessing of the side walls behind those of the original dwelling would ensure the historic features and setting of the Contributory Item are conserved.</p> <p>The Desired Character for the Policy Area also requires new development to have regard for important features of the Contributory Item, such as the roof height and pitch. While the additions would be taller than the roof of the dwelling and a flat roof is proposed instead of a traditional pitched roof, the proposed built form would sit comfortably on the site in the context of the existing dwelling and the prevailing streetscape. The building height of 6.7 metres would not be overbearing given the significant boundary setbacks and the simple modern design would not attempt to replicate the historic form and features of the dwelling.</p> <p>On balance, the proposal is considered to satisfy PDC 1.</p>
<p>PDC 2 <i>Development should comprise:</i> <i>(a) alterations and/or additions to an existing dwelling; and</i> <i>(b) ancillary domestic-scaled structures and outbuildings; and</i> <i>(c) the adaptation of, and extension to, a contributory item to accommodate and care for aged and disabled persons, or for a multiple dwelling or residential flat building; and</i> <i>(d) selected infill of vacant and/or under-utilised land for street-fronting dwelling type(s) appropriate to the policy area; and</i> <i>(e) replacement of a non-contributory building or site detracting from the desired character with respectful and carefully designed building(s).</i></p>	<p>The proposed additions, verandah, garage and swimming pool are ancillary and subordinate to the existing dwelling and therefore would not change the existing residential use of the land.</p> <p>PDC 2 of the Residential Historic (Conservation) Zone envisages dwelling alterations, outbuildings and other domestic structures. The proposal is therefore an orderly and desirable form of development within the zone.</p>
<p>PDC 3 <i>Development should retain and enhance a contributory item by:</i></p>	<p>The proposed additions would not affect the original appearance of the Contributory Item as no changes are to be</p>

Relevant Zone Principles of Development Control	Assessment
<p><i>(a) refurbishing, restoring and improving the original fabric and maintaining its streetscape contribution; and</i></p> <p><i>(b) avoiding works detrimentally impacting on the built form and its characteristic elements, detailing and materials of the front and visible sides as viewed from the street or any public place (ie the exposed external walls; roofing and chimneys; verandahs, balconies and associated elements; door and window detailing; and original finishes and materials) together with any associated original fencing forward of the main building façade; and</i></p> <p><i>(c) removing discordant building elements, detailing, materials and finishes, outbuildings and site works; and</i></p> <p><i>(d) altering or adding to the item and carrying out works to its site only in a manner which maintains or enhances its contribution to the desired character, and responds positively to the characteristic elements and streetscape context of its locality, in terms of the:</i></p> <p><i>(i) rhythm of buildings and open spaces (front and side setbacks) of building sites and gaps between neighbouring building sites; and</i></p> <p><i>(ii) building scale and forms (wall heights and proportions, and roof height, volumes and forms); and</i></p> <p><i>(iii) open fencing and garden character; and</i></p> <p><i>(iv) recessive or low key nature of vehicle garaging and the associated driveway.</i></p>	<p>made apart from minor alterations to side and rear window and door openings.</p> <p>The proposal includes a small ensuite addition to the western side of the dwelling. The front of the addition is only 2.7 metres wide, 3.0 metres high and is setback 1.0 metre behind the front wall of the dwelling. The small scale and recessive siting of this addition would maintain the streetscape contribution of the dwelling.</p> <p>Even though the subject land is a corner allotment and therefore is more visually exposed, the proposed two storey additions would not diminish the streetscape character given the front setback of some 17.0 metres from Alfred Street and the secondary street setback of 5.0 metres to Stamford Street.</p>
<p>PDC 4</p> <p><i>Alterations and additions to a contributory item should be located primarily to the rear of the building and not be visible from the street or any public road unless involving the dismantling and replacement of discordant building elements so as to reinstate or better complement the building's original fabric, form and key features.</i></p>	<p>PDC 4 requires additions to be located primarily to the rear of a Contributory Item and preferably to not be visible from the street.</p> <p>The proposed additions are primarily located at the rear of the dwelling. The siting of the ensuite addition to the side of the dwelling is also considered appropriate in this instance as it would not detract from the original building fabric or the streetscape character,</p>

Relevant Zone Principles of Development Control	Assessment
	It is acknowledged that some sections of the upper storey would be visible from the adjacent road frontages, however this is not considered fatal to the overall merits of the proposal given the simplicity of the design and spatial separation afforded by the significant boundary setbacks.
<p>PDC 9 <i>Development should present a single storey built scale to the streetscape. Any second storey building elements should be integrated sympathetically into the dwelling design, and be either:</i> <i>(a) incorporated primarily into the roof or comprise an extension of the primary single storey roof element without imposing excessive roof volume or bulk, or massing intruding on neighbouring spacious conditions nor increasing the evident wall heights as viewed from the street; or</i> <i>(b) set well behind the primary street façade of the dwelling so as to be inconspicuous in the streetscape, without being of a bulk or mass that intrudes on neighbouring properties.</i></p>	<p>PDC 9 encourages two storey building elements to be integrated sympathetically into the overall design and appearance of the dwelling. While it is also preferred that upper storeys are incorporated into the roof in order to be inconspicuous within the streetscape, the new upper storey would not have a bulk or mass that visually intrudes upon the streetscape or neighbouring properties. The original façade of the Contributory Item would be retained, with the upper storey located behind the façade and well setback from side and rear boundaries. This will maintain the visual and spatial amenity of neighbouring properties.</p> <p>Accordingly, the design, siting and overall size of the additions are considered to satisfy PDC 9.</p>
<p>PDC 10 <i>Buildings should be of a high quality contemporary design and not replicate historic styles. Buildings should nonetheless suitably reference the contextual conditions of the locality and contribute positively to the desired character, particularly in terms of:</i> <i>(a) scale and form of buildings relative to their setbacks as well as the overall size of the site; and</i> <i>(b) streetscape setting or the characteristic pattern of buildings and spaces (front and side setbacks), and gaps between buildings; and</i> <i>(c) primarily open front fencing and garden character and the strong presence of dwellings fronting the street.</i></p>	<p>The additions, verandah and garage are designed with flat roofs. The modern design is clean and simple and is not intended to replicate the historic style and features of the Contributory Item. The size, scale and siting of the proposed additions and associated buildings is consistent with the existing development pattern in the locality, which comprises rear additions and outbuildings located near side and rear boundaries.</p>
<p>PDC 12 <i>Building walls on side boundaries should be avoided other than:</i></p>	<p>The proposed garage will be located on the eastern side boundary. The wall on the eastern boundary has a length of 6.9 metres and height of 3.0 metres. The</p>

Relevant Zone Principles of Development Control	Assessment
<p>(a) a party wall of semi-detached dwellings or row dwellings; or</p> <p>(b) a single storey building, or outbuilding, which is not under the main dwelling roof and is setback from, and designed such that it is a minor, low and subservient element and not part of, the primary street façade, where:</p> <p>(i) there is only one side boundary wall; and</p> <p>(ii) the minimum side setback prescribed under the desired character is met on the other side boundary; and</p> <p>(iii) the desired gap between buildings, as set-out in the desired character, is maintained in the streetscape presentation.</p>	<p>siting of the garage on the boundary would have a negligible impact on the neighbouring property as the building would be located immediately adjacent to a garage in rear yard of 89 Alfred Street.</p> <p>It is also noted that the adjoining property owner has not raised any concerns with the siting of the garage on the boundary.</p>

Policy Area Desired Character

Policy Area 2 – Compact Parkside St Ann’s Estate
Desired Character
<p>Heritage Value</p> <p><i>An important appreciation of the heritage value is formed by this village township, the first on the southern edge of the Parklands, proximate and readily accessible to the Unley and CBD facilities and services. The formal subdivision in 1854 created the tightly angled pattern of short and narrow streets.</i></p> <p>Desired Character</p> <p><i>While the earliest colonial buildings have not survived, the contributory items erected in the later half of the 19th century to circa 1910 are integral to the predominant and desired character. The compact streetscape character comprises a mix of Victorian and Turn-of-the-Century style single-fronted, attached and double-fronted cottages and villas, and also complementary, later Inter-War styles, together with corner shop variations and institutional buildings.</i></p> <p><i>Development will:</i></p> <p>(a) conserve contributory items, in particular, single and double-fronted and attached cottages and villas and also original school and church buildings; and</p> <p>(b) be of a compact street-fronting dwelling format, primarily of detached dwelling, semidetached dwelling and row dwelling types, except for the adaptation of a contributory item for a multiple dwelling or residential flat building, but retaining remnant and notable community and educational buildings, and uses; and</p> <p>(c) maintain or enhance the predominant streetscapes and allotment patterns associated with the more predominant:</p> <p>(i) dwelling sites typically of 14 metres to 18 metres street frontages and with site areas of 500 square metres; and</p> <p>(ii) street setbacks of some 4m; and</p>

<p>(iii) side setbacks more commonly of between 1 metre and 3 metres so as to maintain a total spacing between neighbouring dwelling walls of some 3.5metres; and</p> <p>(d) maintain or enhance the predominant streetscapes and allotment patterns associated with existing narrow-fronted and attached cottages are on sites typically 8 metres in width and 300 square metres in site area, and having side setbacks and a spacing between dwelling walls of between 0 metres and 1 metre; and</p> <p>(e) maintain and respect important features associated with architectural styles of contributory items having typically:</p> <p>(i) building wall heights in the order of 3.3 metres to 3.5 metres; and</p> <p>(ii) total roof heights in the order of 5.7 metres; and</p> <p>(iii) roof pitches in the order of 27 degrees and 35 degrees.</p>
<p>Assessment</p> <p>The desired character for the policy area requires new development to “conserve contributory items, in particular symmetrical and asymmetrical villas of Victorian and Turn-of-the-Century era and double-fronted cottages”. As already considered, the building height and the siting of the additions to the rear of the dwelling would ensure that the historic features of the contributory item are sufficiently maintained.</p>

Relevant Council Wide Objectives and Principles of Development Control

An assessment has been undertaken against the following Council Wide Provisions:

City-wide Objectives and Principles of Development Control		
Design and Appearance	Objectives	1, 2
	PDCs	1, 2, 3, 9, 10, 12, 13, 14, 19, 20, 21
Energy Efficiency	Objectives	1, 2
	PDCs	1, 2, 3, 4
Form of Development	Objectives	1, 3, 4, 7
	PDCs	1, 2, 3
Heritage	Objectives	1, 5
	PDCs	3, 4, 5, 6, 7, 8, 9, 10, 11, 12
Interface Between Land Uses	Objectives	1, 2, 3
	PDCs	1, 2, 3
Landscaping	Objectives	1
	PDCs	1, 2
Public Notification	PDCs	1
Residential Development	Objectives	1, 2, 4
	PDCs	1, 5, 6, 7, 13, 14, 15, 16, 17, 19, 20, 23, 24, 32, 33, 34, 35, 36, 37, 40, 41, 42
	Objectives	1, 2, 3, 5, 6

Transportation (Movement of People and Goods)	PDCs	1, 2, 3, 5, 9, 10, 12, 13, 14, 18, 19, 20, 21, 22, 33
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The following table includes the Council-wide provisions that warrant further discussion in regards to the proposed development:

Relevant Council Wide Provisions	Assessment
Residential Development	
<i>PDC 13 & 14 – Side and Rear Boundary Setbacks</i>	<p>Council Wide PDC 13 recommends a minimum setback of 1.0 metre from side boundaries for single storey buildings and 3.0 metres for two storey buildings with walls up to 7.0 metres in height. The proposed additions satisfy these setback requirements at both ground and upper storey level.</p> <p>In terms of rear setbacks, PDC 13 prescribes a minimum setback of 8.0 metres for two storey buildings. The rear setback of 6.7 metres to the two-storey addition is only marginally less than the recommended setback, and in this instance, the reduced setback would not result in any adverse amenity impacts as the rear of the site backs onto a public laneway. The adjacent laneway provides additional separation to the northern neighbour.</p>
<i>PDC 16 & 17 – Site Coverage</i>	<p>Council Wide PDC 17 prescribes a total roofed area of 50 percent of the area of the site. The proposed development will result in roofs covering approximately 63 percent of the site. The departure from this principle is not considered to have any adverse impacts as adequate private open space would be maintained for occupants of the dwelling and there is sufficient area for on-site stormwater detention and retention tanks.</p> <p>Accordingly, the proposal is not considered to result in an over-development of the site.</p>
<i>PDC 19 & 20 – Private Open Space</i>	<p>Approximately 135m² of private open space will be maintained for occupants of the dwelling, which equates to 26% of the site area. The layout, orientation and amount of private open space satisfies Council Wide PDC 20 and is considered suitable for clothes drying, entertaining and other domestic activities.</p>

<p><i>PDC 38 & 39 – Overlooking / Privacy</i></p>	<p>Two of the representors located on the western side of Stamford Street have raised concerns with the potential for overlooking from the upper storey windows of the proposed two storey additions.</p> <p>The privacy of the adjacent property at 40 Stamford Street would not be adversely affected as views from the upper level living room would be in the direction of the public road and the front yard of the property. Although the other concerned property at 88 Young Street is also on the opposite side of a public road, the applicant has agreed to provide fixed vertical fins or blades for screening purposes. The fins are designed to restrict direct views in a south-westerly direction. As limited details of the proposed fins have been provided, an appropriate condition of approval has been included.</p> <p>All other upper storey windows are designed with raised sills to a height of 1.8 metres above the finished floor level.</p> <p>The proposed measures are considered adequate in maintaining the privacy of neighbouring properties in accordance with Council Wide PDC 38 and 39.</p>
<p><i>PDC 41 – Overshadowing and Natural Light</i></p>	<p>Given the north to south orientation of the subject land, the modest building height and the boundary setbacks, the shadow cast by the development would not significantly affect the adjoining properties on either side or to the rear.</p> <p>The living room windows and rear yards of neighbouring properties will continue to receive adequate sunlight in accordance with Council Wide PDC 41.</p>

11. CONCLUSION

In summary, the application is not considered to be seriously at variance with the Development Plan and is considered to satisfy the provisions of the Development Plan for the following reasons:

- The proposed additions, verandah, garage and swimming pool are ancillary and subordinate to the existing dwelling and therefore would not change the existing residential use of the land;

- The proposal is an orderly and desirable form of development within the Residential Historic (Conservation) Zone, which envisages alterations and additions to existing dwellings and associated outbuildings;
- The proposal would not alter the original form and features of the Contributory Item;
- The proposed additions have been appropriately setback from boundaries and designed with a simple modern form that would not replicate nor overwhelm the existing contributory place or the historic dwelling styles within the locality;
- The design and siting of the proposed development would not adversely impact upon the amenity of neighbouring properties, in terms of visual impact, loss of privacy or access to natural light; and
- The size, scale and siting of the proposed addition is consistent with the existing development pattern in the locality.

The application is therefore recommended for Development Plan CONSENT.

12. RECOMMENDATION

MOVED:

SECONDED:

That Development Application 090/965/2020/C2 at 91 Alfred Street, Parkside 5063 to carry out alterations and construct additions including upper storey, garage and in-ground swimming pool is not seriously at variance with the provisions of the City of Unley Development Plan and should be GRANTED Planning Consent subject to the following conditions:

DEVELOPMENT PLAN CONSENT DETAILS OF DECISION:

1. The Development herein approved shall be undertaken in accordance with all plans, drawings, specifications and other documents submitted to Council and forming part of the relevant Development Application except where varied by conditions set out below (if any) and the development shall be undertaken to the satisfaction of Council.
2. All stormwater from the building and site shall be disposed of so as to not adversely affect any properties adjoining the site or the stability of any building on the site. Stormwater shall not be disposed of over a crossing place.
3. The total stormwater volume requirement (detention and retention) for the development herein approved shall be determined in accordance with the volume requirements and discharge rates specified in Table 3.1 and 4.1 in the City of Unley Development and Stormwater Management Fact Sheet dated 15 January 2017. Further details shall be provided to the satisfaction of Council prior to issue of Development Approval.
4. Details of the proposed fins/blades to the upper storey living room windows on the western elevation shall be provided to the reasonable satisfaction of Council prior to Development Approval.
5. The upper floor windows on the eastern and southern elevations shall be treated to avoid overlooking prior to occupation by being fitted with either permanently fixed non-openable obscure glazed panels or raised sills to a

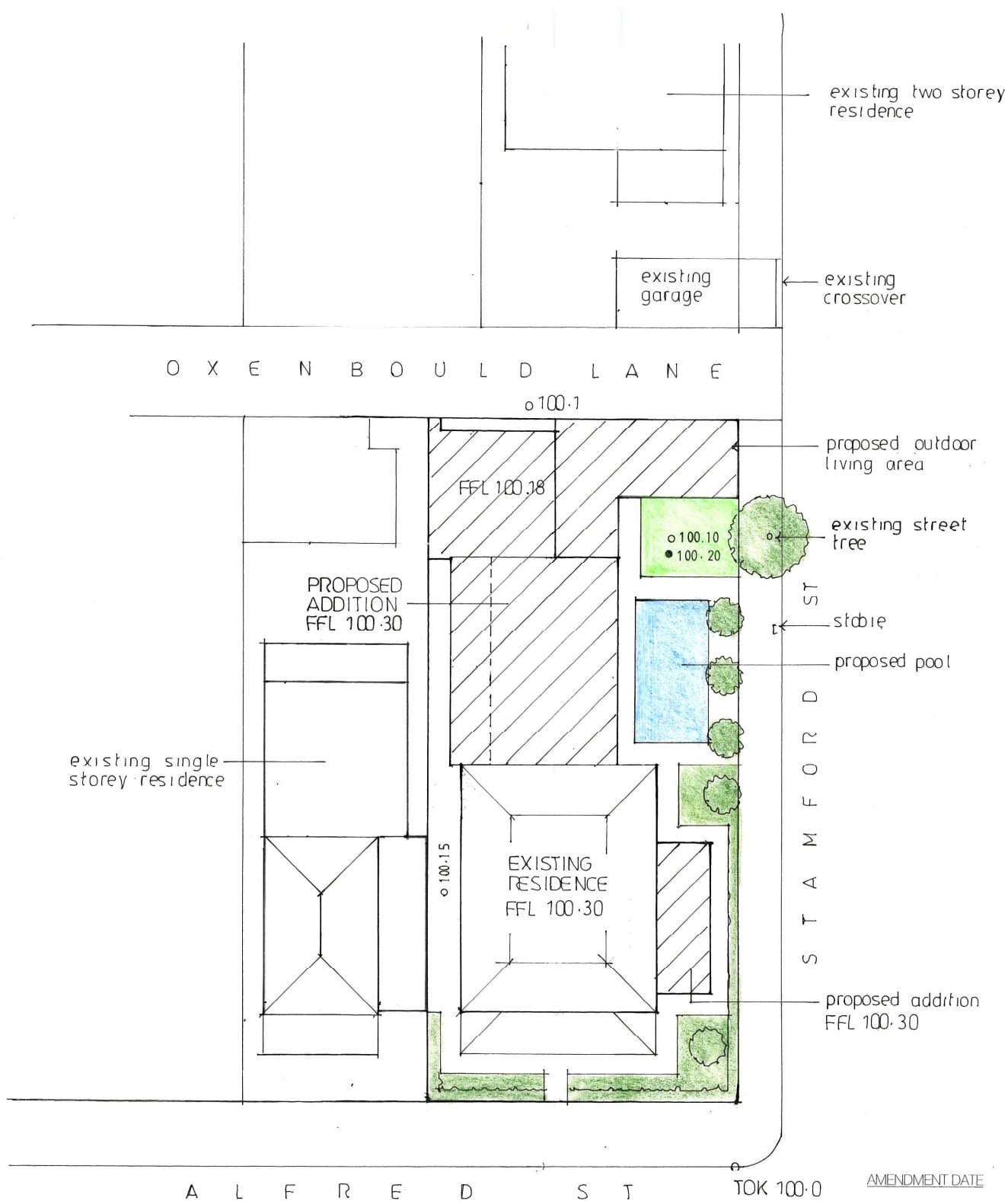
minimum height of 1700mm above floor level with such measures to be kept in place at all times.

NOTES PERTAINING TO DEVELOPMENT PLAN CONSENT:

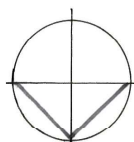
- The applicant is reminded of the requirements of the Fences Act 1975. Should the proposed works require the removal, alteration or repair of an existing boundary fence or the erection of a new boundary fence, a 'Notice of Intention' must be served to adjoining owners. Please contact the Legal Services Commission for further advice on 1300 366 424 or refer to their web site at www.lsc.sa.gov.au.
- That any damage to the road reserve, including road, footpaths, public infrastructure, kerb and guttering, street trees and the like shall be repaired by Council at full cost to the **applicant**.
- It is recommended that as the applicant is undertaking work on or near the boundary, the applicant should ensure that the boundaries are clearly defined, by a Licensed Surveyor, prior to the commencement of any building work.
- That any necessary alterations to existing public infrastructure (stobie poles, lighting, traffic signs and the like) shall be carried out in accordance with any requirements and to the satisfaction of the relevant service providers.

List of Attachments		Supplied By:
A	Application Documents	Applicant
B	Representations	Administration
C	Response to Representations	Applicant

ATTACHMENT A



SITE PLAN
scale 1:200



LEVELS LEGEND

- $\circ 100.10$ denotes existing level
- $\bullet 100.10$ denotes proposed level

AMENDMENT DATE

[e]ttridge building design
contact: Brian Ettridge
phone 0439 806 140

Client: J KITSON

Project: PROPOSED NEW ALTERATIONS
AND ADDITIONS

At: 91 ALFRED ST
PARKSIDE SA 5063

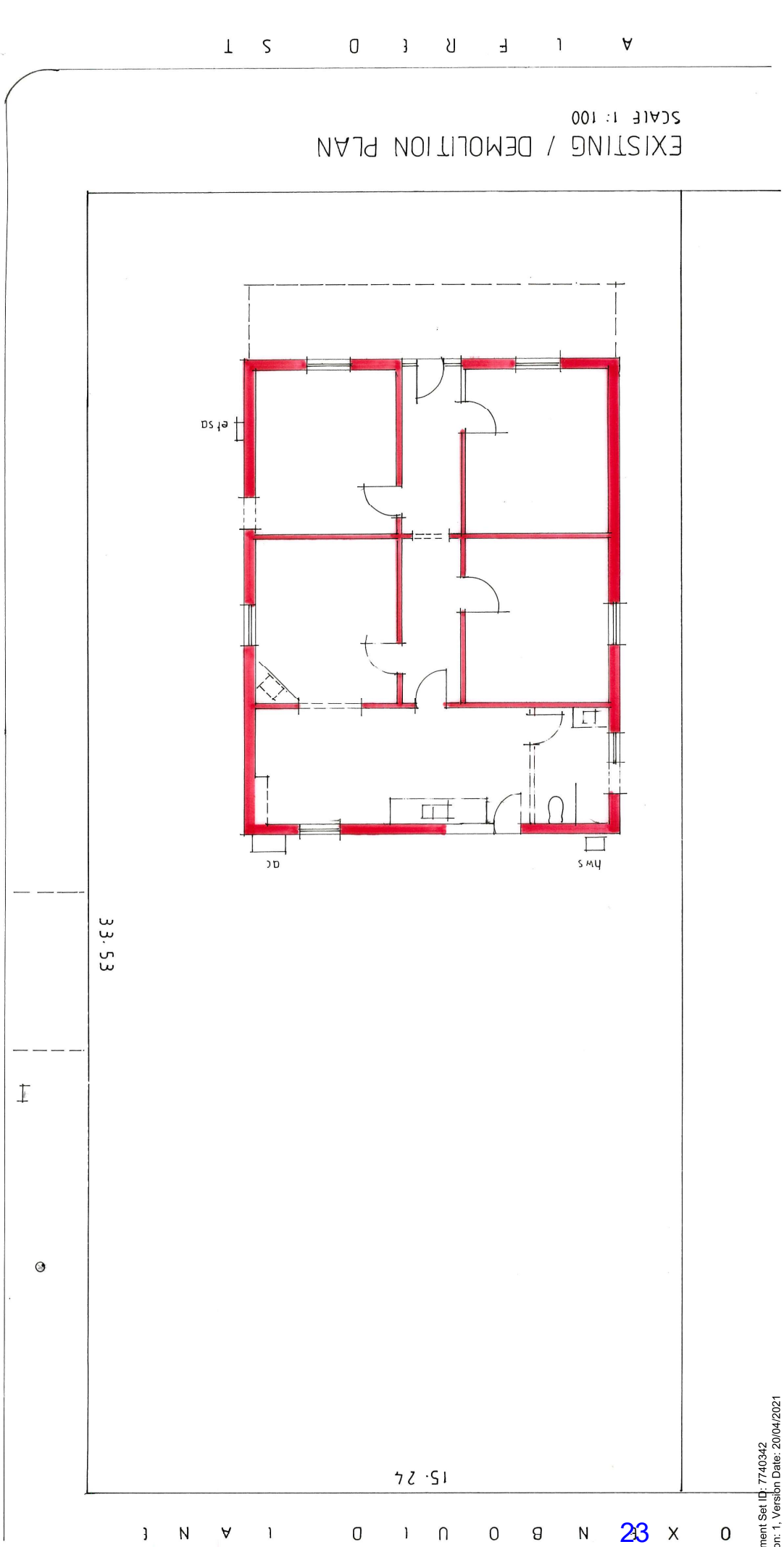
Scale: AS SHOWN Date: OCT 2020

Drawn: B.E Dwg No:

Figured dimensions shall take preference over
scaled drawings. Contractors shall verify all
dimensions prior to commencement.

Design and drawings remain the property of
Ettridge Building Design Pty Ltd.

0 X 23 N B O U I D I A N E



A L F R E D S T

EXISTING / DEMOLITION PLAN
SCALE 1:100



AMENDMENT DATE

[e]tridg building design
contact: Brian Etridg
phone 0439 806 140

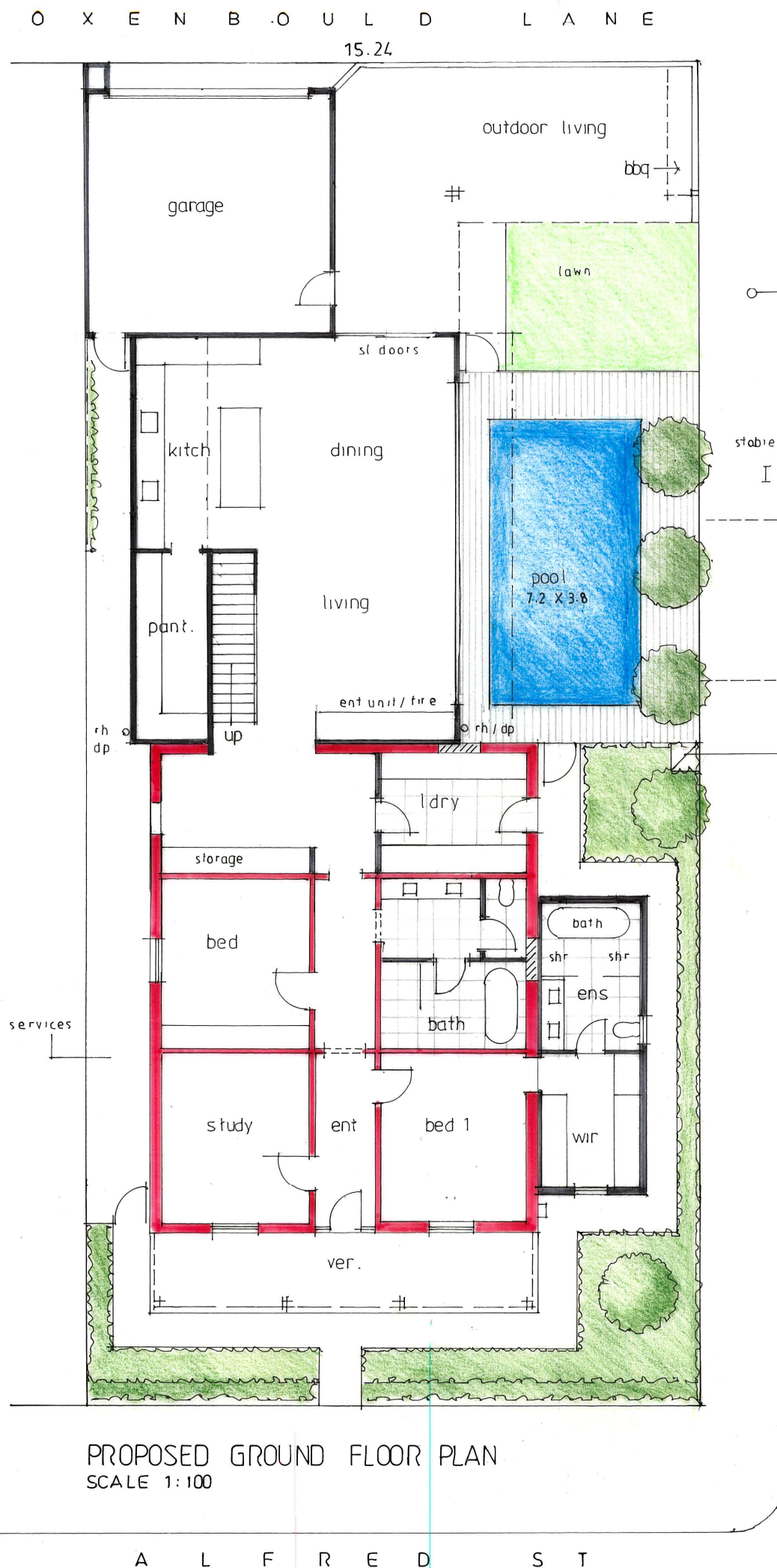
Client: J KITSON

Project: PROPOSED NEW ALTERATIONS
AND ADDITIONS

At: 91 ALFRED ST
PARKSIDE SA 5063

Scale: AS SHOWN Date: OCT 2020
Drawn: B.E Dwg No: 1

Figured dimensions shall take preference over
scaled drawings. Contractors shall verify all
dimensions prior to commencement.
Etridg Building Design Pty Ltd.
Design and drawings remain the property of



AREAS

garage	38
outdoor living	44
ground floor living	104
first floor living	71

S T A M F O R D S T

proposed pool pump
in sound proof enclosure

6.4.2021
28.1.2021

AMENDMENT DATE

[e]

[e]trtridge building design
contact: Brian Ettridge
phone 0439 806 140

Client: J KITSON

Project: PROPOSED NEW ALTERATIONS
AND ADDITIONS

At: 91 ALFRED ST
PARKSIDE SA 5063

Scale: AS SHOWN Date: OCT 2020

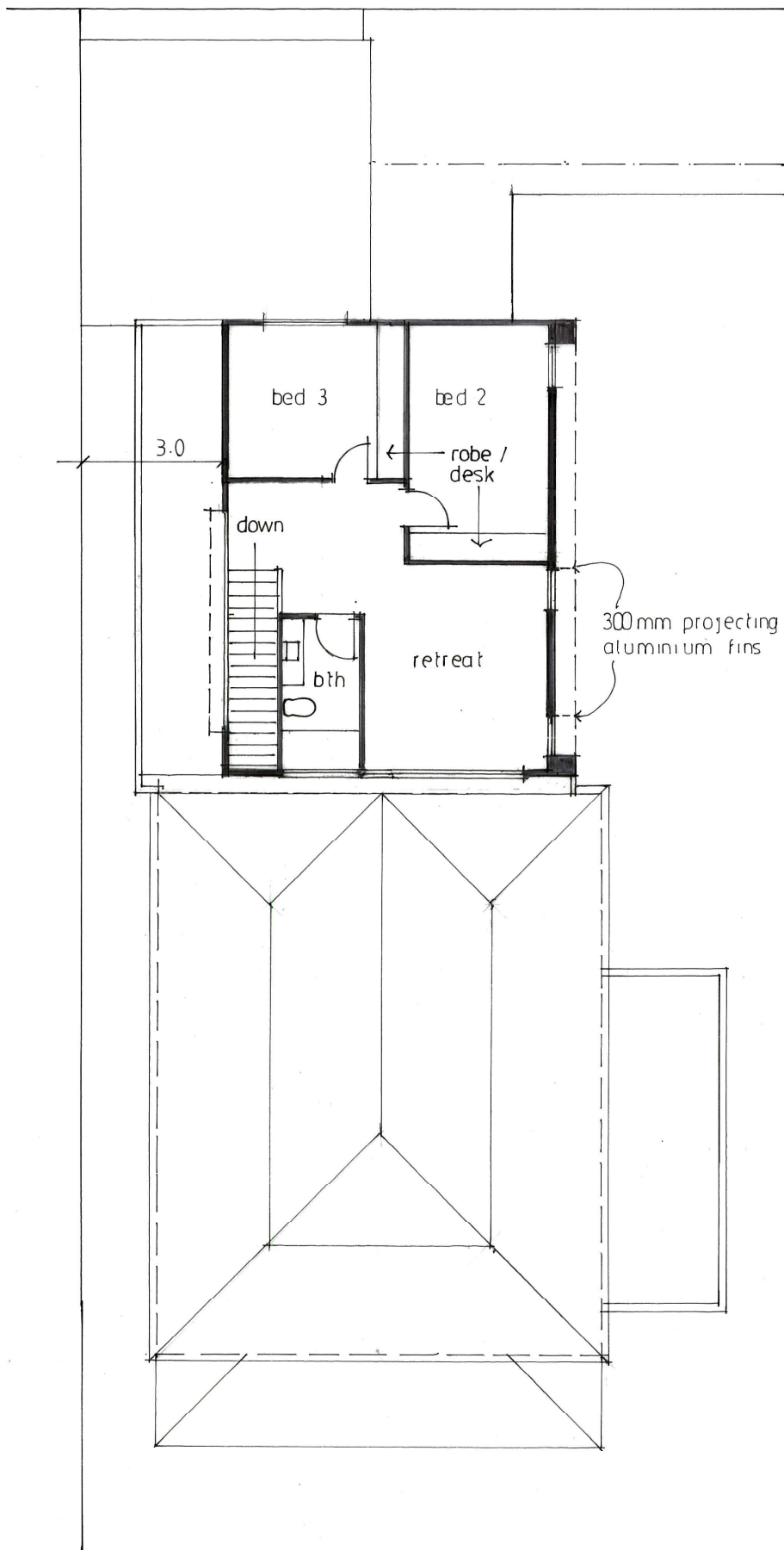
Drawn: B.E Dwg No:

Figured dimensions shall take preference over
scaled drawings. Contractors shall verify all
dimensions prior to commencement.

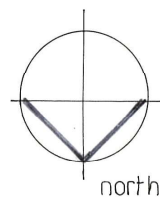
Design and drawings remain the property of
Ettridge Building Design Pty Ltd.

PROPOSED GROUND FLOOR PLAN
SCALE 1:100

A L F R E D S T



PROPOSED FIRST FLOOR PLAN
SCALE 1:100



6 4 2021

AMENDMENT DATE

[e]

[e]ttridge building design
contact: Brian Ettridge
phone 0439 806 140

Client: J KITSON

Project: PROPOSED NEW ALTERATIONS
AND ADDITIONS

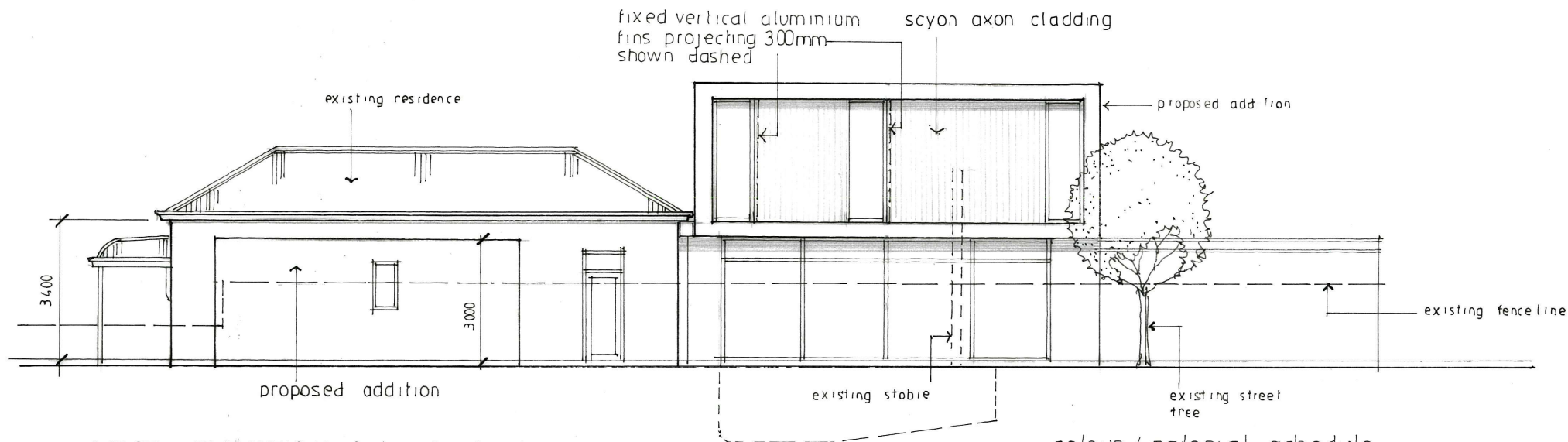
At: 91 ALFRED ST
PARKSIDE SA 5063

Scale: AS SHOWN Date: OCT 2020

Drawn: B.E Dwg No:

Figured dimensions shall take preference over
scaled drawings. Contractors shall verify all
dimensions prior to commencement.

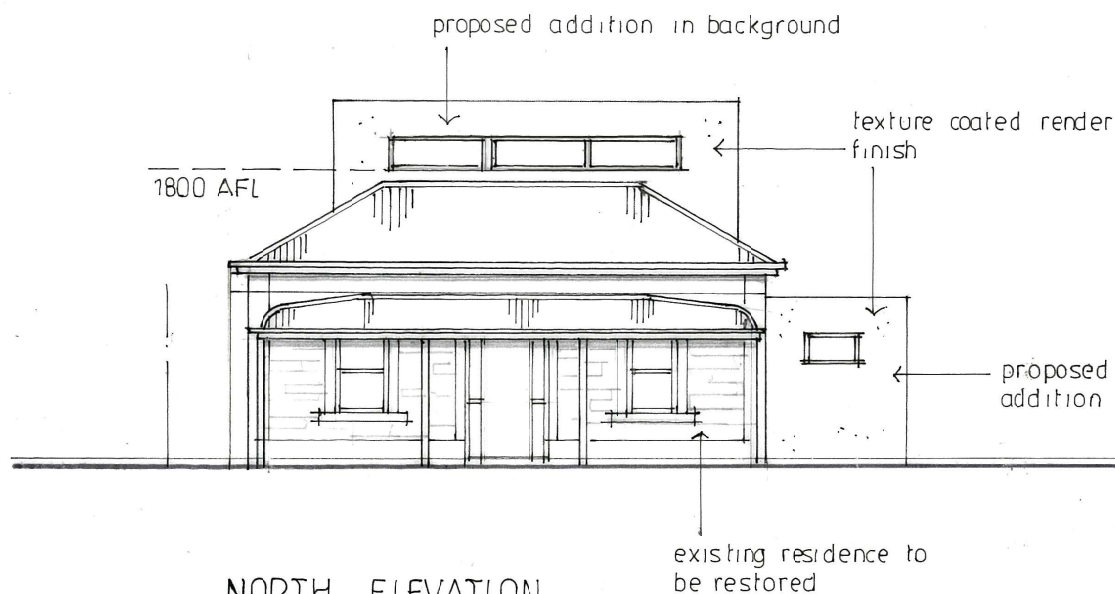
Design and drawings remain the property of
Ettridge Building Design Pty Ltd.



WEST ELEVATION (stamford st)
scale 1:100

colour / material schedule

windows powdercoated aluminium black
walls render finish colour basalt
scyon axon cladding colour monument
garage door colorbond basalt



NORTH ELEVATION
scale 1:100

6.4.2021

AMENDMENT DATE

[e]

ettridge building design
contact: Brian Ettridge
phone 0439 806 140

Client: J KITSON

Project: PROPOSED NEW ALTERATIONS
AND ADDITIONS

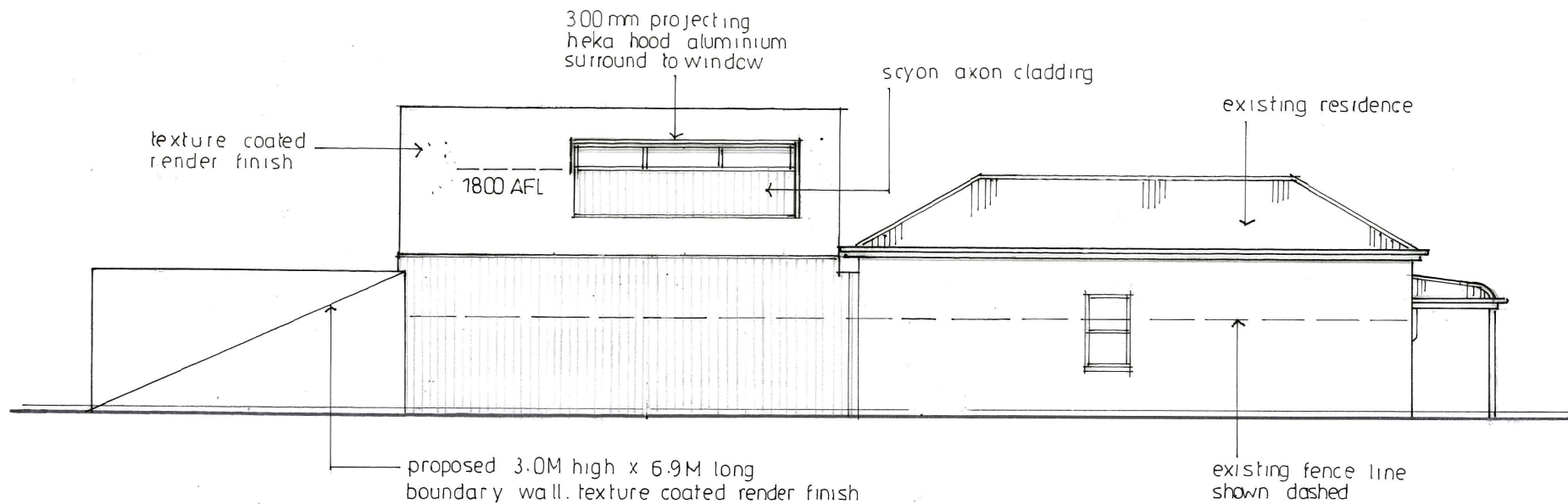
At: 91 ALFRED ST
PARKSIDE SA 5033

Scale: AS SHOWN Date: OCT 2020

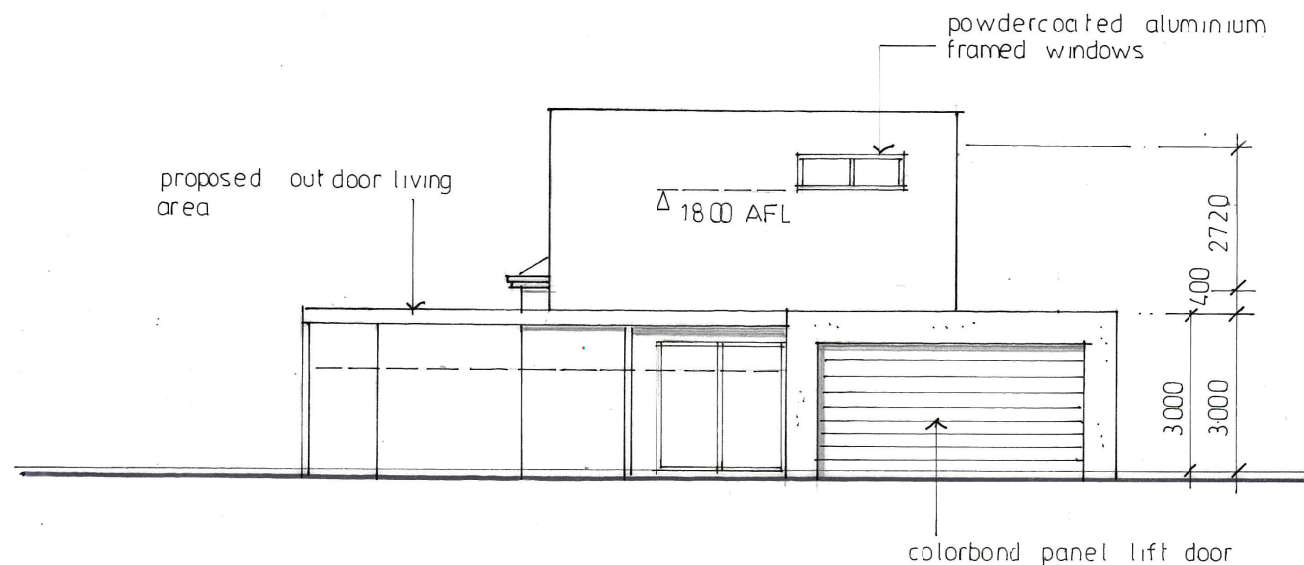
Drawn: B.E Dwg No:

Figured dimensions shall take preference over
scaled drawings. Contractors shall verify all
dimensions prior to commencement.

Design and drawings remain the property of
Ettridge Building Design Pty Ltd.



EAST ELEVATION
scale 1:100



SOUTH ELEVATION
scale 1:100

6.4.2021

AMENDMENT DATE

[e]

[e]ttridge building design
contact: Brian Ettridge
phone 0439 806 140

Client: J KITSON

Project: PROPOSED NEW ALTERATIONS
AND ADDITIONS

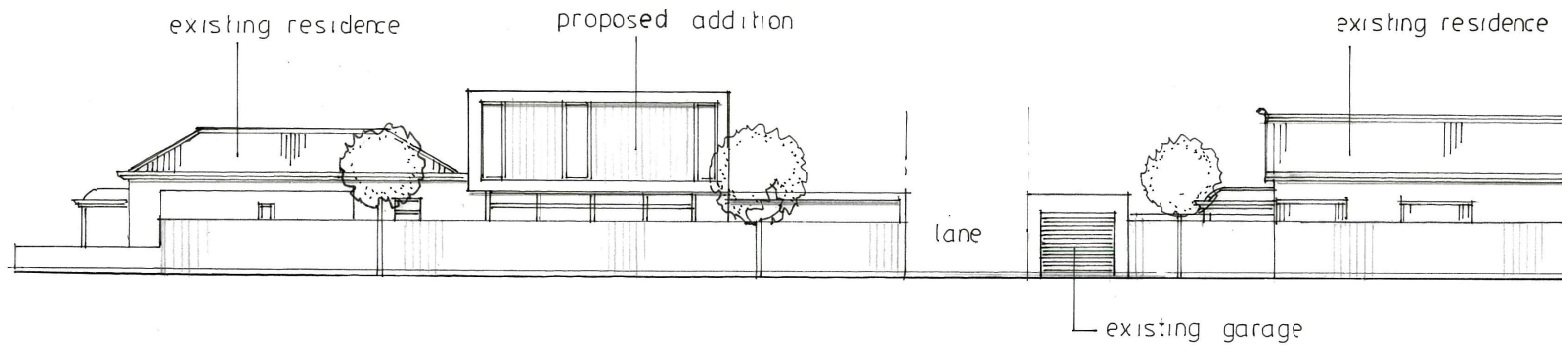
At: 91 ALFRED ST
PARKSIDE SA 5063

Scale: AS SHOWN Date: OCT 2020

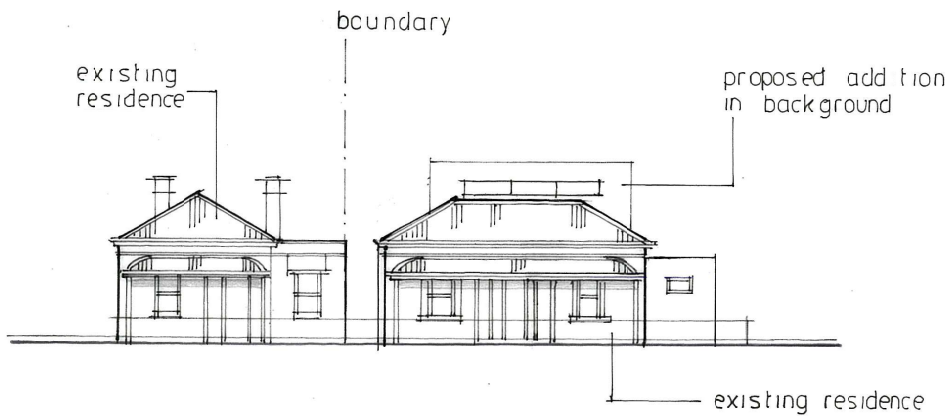
Drawn: B.E Dwg No:

Figured dimensions shall take preference over
scaled drawings. Contractors shall verify all
dimensions prior to commencement.

Design and drawings remain the property of
Ettridge Building Design Pty Ltd.



STAMFORD ST ELEVATION
scale 1:200



ALFRED ST ELEVATION
scale 1:200

6.4.21

AMENDMENT DATE

[e]

[e]tridge building design
contact: Brian Ettridge
phone 0439 806 140

Client: J KITSON

Project: PROPOSED NEW ALTERATIONS
AND ADDITIONS

At: 91 ALFRED ST
PARKSIDE SA 5063

Scale: AS SHOWN Date: OCT 2020

Drawn: B.E Dwg No:

Figured dimensions shall take preference over
scale drawings. Contractors shall verify all
dimensions prior to commencement.

Design and drawings remain the property of
Ettridge Building Design **28** Ltd.

ATTACHMENT B

REPRESENTATION Category 2 (Page 1)

CITY OF UNLEY

26 FEB 2021

REF:

To: Paul Weymouth, City of Unley Development Section

Please read these notes carefully:

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2. This page (ie Page 1) will NOT be published on the internet.
3. Pages 1 and 2 (and any attachments) may be included as attachments in the hard copy of the Council Assessment Panel agenda.
4. Please note that in accordance with Section 38(8) of the Development Act 1993, a copy of this representation (Pages 1 and 2 and attachments) will be forwarded to the Applicant for consultation and response.

The closing date for Representations is **5pm on 26 February 2021.**

Application: 090/965/2020/C2 91 Alfred Street, Parkside 5063

Details of Person(s) making Representation:

Name:

Postal Address:

EMAIL ADDRESS

Daytime Phone N

Property affected
by Development

88 Young St PARKSIDE

(Signature)

24/2/21
(Date)

2

26 FEB 2021

REPRESENTATION Category 2 (Page 2)

To: **Paul Weymouth, City of Unley Development Section**

1. This page (ie Page 2) and any attachments may be published on the internet and thus be able to be searched via Google and other internet search engines.
2. In accordance with Section 38(8) of the Development Act 1993, a copy of this representation (Pages 1 and 2 and any attachments) will be forwarded to the Applicant for consultation and response.

The **closing date** for Representations is **5pm on 26 February 2021**.

Application:	090/965/2020/C2 91 Alfred Street, Parkside 5063
Property affected by Development	88 YOUNG ST PARKSIDE

☐ I support the proposed development.

OR (Tick one only)

☒ I object to the proposed development because:

(Please state your reasons so that each planning issue can be clearly identified. Attach extra pages if you wish)

See three attached pages.

My concerns (if any) could be overcome by:

☐ WISH TO BE HEARD

☐ DO NOT WISH TO BE HEARD

by the Council Assessment Panel

(Tick one box only. If you do not tick either box it will be assumed that you do not wish to be heard by the Council Assessment Panel.)

Development application 090/2020/C2 91 Alfred St Parkside

Property affected by development: 88 Young St Parkside

I object to the proposed development because it does not meet the Principles of Development Control in the Council's Development Plan:

1. The building form, scale, mass and height is not compatible with development in the locality (p.64) and the design and appearance does not reflect the desired architectural styles of Policy Area 2 – Compact Parkside St Ann's Estate.
 - The building wall height is not in the order of 3.3 metres to 3.5 metres (it is approx. 6.8m)
 - The total roof height is not in the order of 5.7 metres (it is approx. 6.8m)
2. The development does not minimise direct overlooking of habitable rooms and private open spaces (p.26). Attached diagrams illustrate how the height and orientation of the western-facing second floor windows allow direct line of sight into the rear windows and outdoor living area of 88 Young St.

For comparison, the existing two storey development at 86 Young St is within the existing roof space and is 5.8m high.

My concerns could be partly overcome by:

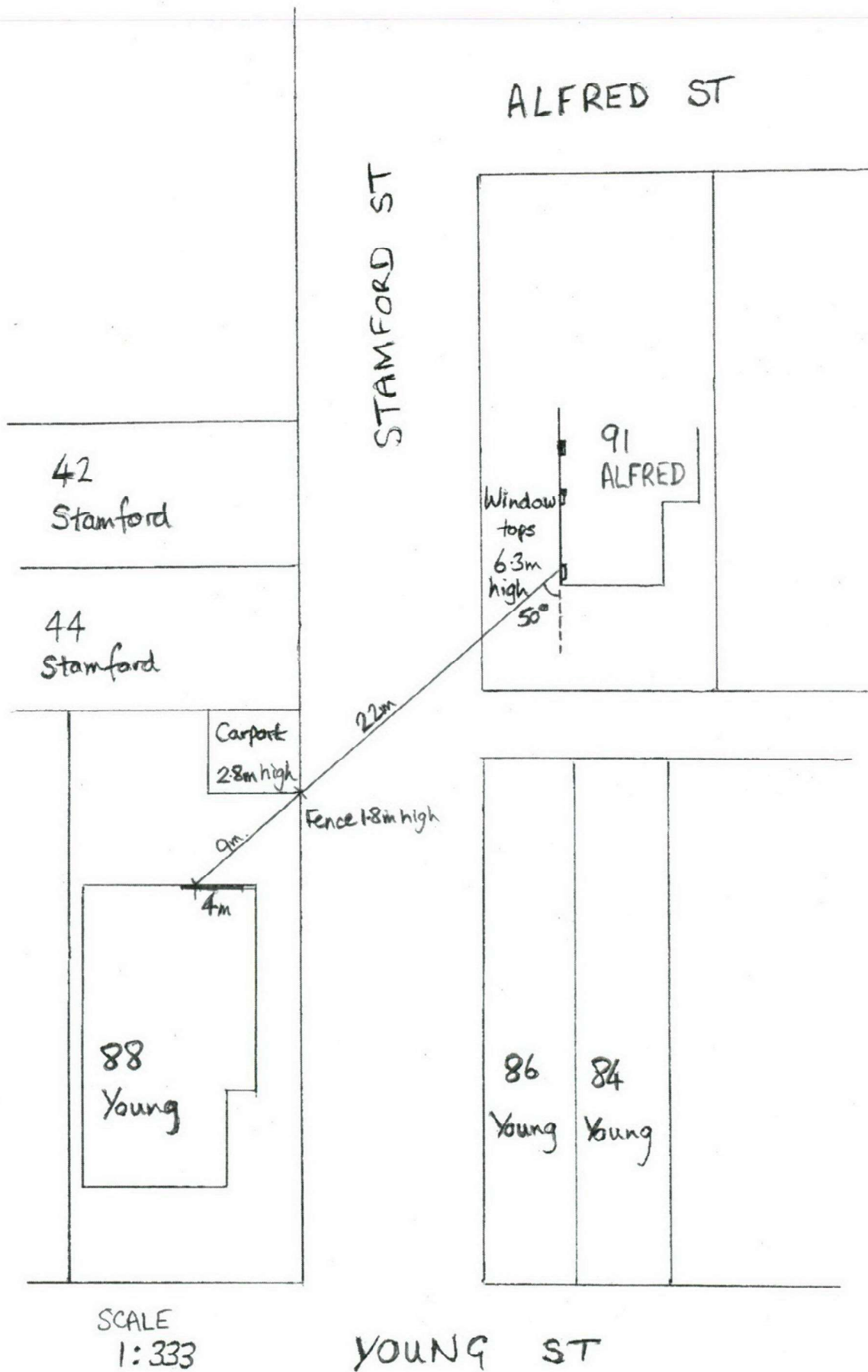
Installation of full length vertical shutters on all western-facing second storey windows.

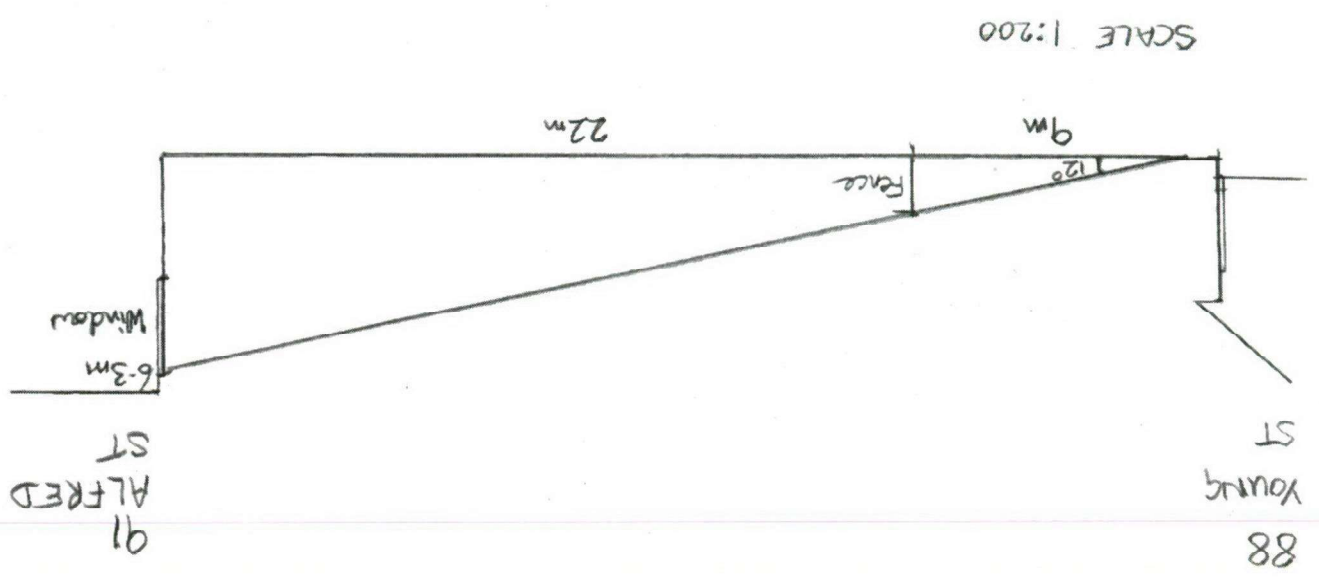
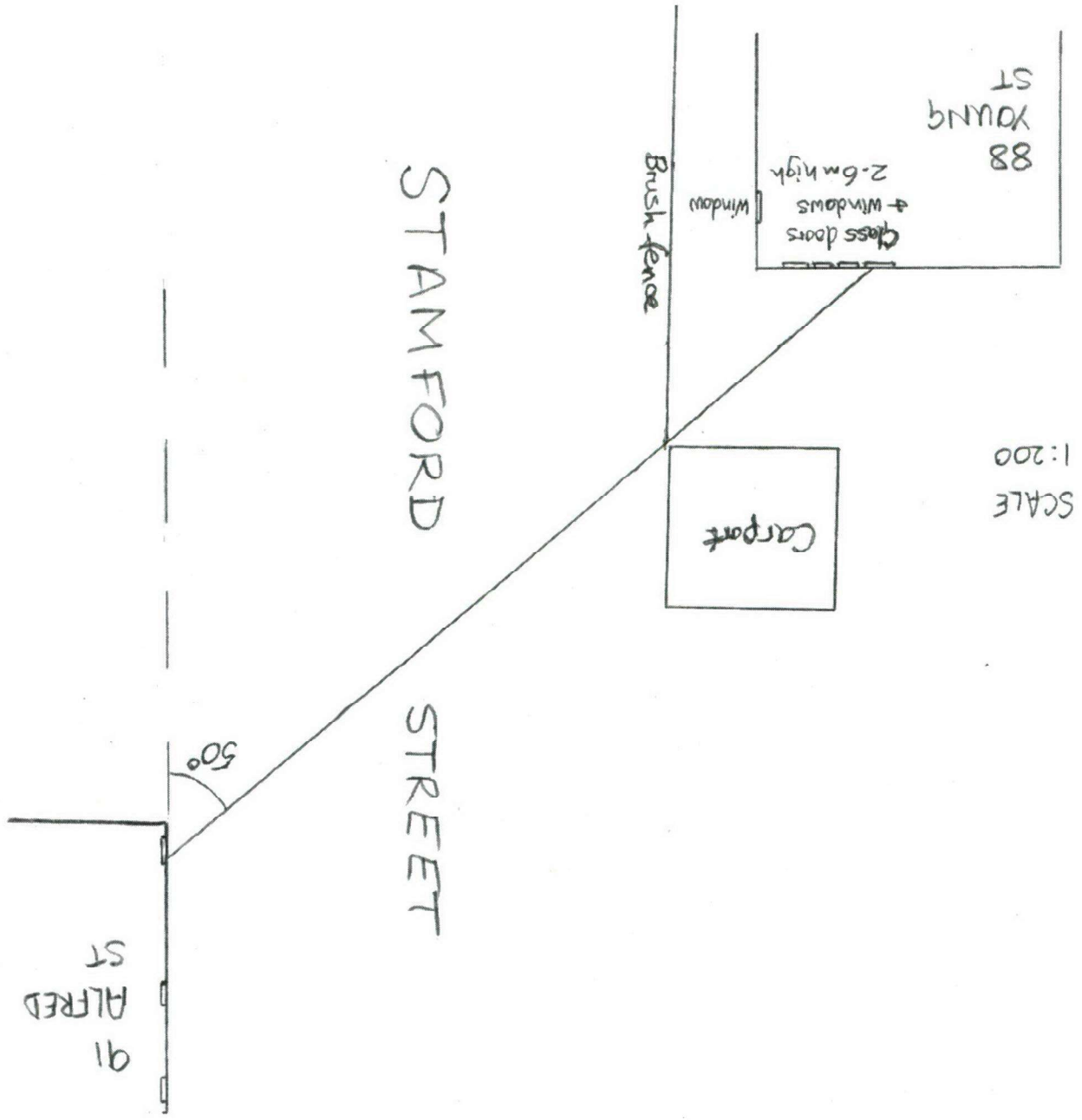
To ensure that direct overlooking is prevented, these shutters would need to extend approximately 100cm out from the southern side of each window.

In addition other modifications that would also reduce my concerns about the development:

- Reduction in the overall height of the second storey.
- Reduction in the vertical extent of the western-facing windows
- Use of frosted glass in the western-facing windows

Two attachment pages follow.





REPRESENTATION Category 2 (Page 1)

CITY OF UNLEY

24 FEB 2021

REF:

To: Paul Weymouth, City of Unley Development Section

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The closing date for Representations is 5pm on 26 February 2021.

Application: 090/965/2020/C2 91 Alfred Street, Parkside 5063

Details of Person(s) making Representation:

Name:

Postal Address:

EMAIL ADDRESS:

Daytime Phone No.

Property affected
by Development

89 ALFRED STR. PARKSIDE 5063

Henry Kordich.

(Signature)

24 February 2021

(Date)

RECEIVED

24 FEB 2021

28 FEB 2021

(11)

REPRESENTATION Category 2 (Page 2)

To: **Paul Weymouth, City of Unley Development Section**

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The **closing date** for Representations is **5pm on 26 February 2021**.

Application:	090/965/2020/C2 91 Alfred Street, Parkside 5063
Property affected by Development	89 Alfred Str. Parkside 5063 .

☐ I support the proposed development.

OR (Tick one only)

☒ I object to the proposed development because:

(Please state your reasons so that each planning issue can be clearly identified. Attach extra pages if you wish)

1. The two storey extension does not fit in with heritage style of this part of Alfred and Stamford Streets.
2. The height of the extension will intrude onto our backyard.
3. On the plan it appears we will face the back of the extension - a utility wall.

My concerns (if any) could be overcome by:

1. Single storey extension.
2. Alterations to the existing plan.

☒ **WISH TO BE HEARD**

☐ **DO NOT WISH TO BE HEARD**

by the Council Assessment Panel

(Tick one box only. If you do not tick either box it will be assumed that you do not wish to be heard by the Council Assessment Panel.)

I object to the proposed development because:

The existing dwellings on Alfred Street and surrounds include traditional cottages and villas of single storey scale. For a suburb that focuses on heritage and promotes a wonderful quality of life for its residents, we think a two storey extension is unsuitable for the 91 Alfred Street location. There are no two storey extensions to that extent on both sides of Alfred Street.

In the provided site plan for 91 Alfred Street, the modern addition is not readily visible from Stamford Street due to significant separation distance from the street. There is landscaping and a swimming pool.

The proposed extension is almost 7 metres in height. From the plan, it appears we will be facing the 'back' of this extension; from our property we will be looking at a utility wall. Stamford Street will be provided with greenery and landscaping, and we will go into our backyard and look at a concrete rendered tidal wave.

In the proposed plan the architect has recessed the second storey to perhaps avoid overshadowing onto our property. However, the issue we have is with the second storey and not its proximity to our house. A 7 metre wall will still be visible.

We have a small property and the proposed height and the length of the extension will cover our only skyline on the side facing 91 Alfred Street. This will detract from our quality of life at 89 Alfred Street.

We appreciate James taking it upon himself to renovate 91 Alfred Street, and full credit to him for doing so. All we are disagreeing with is a small aspect of his proposed extension.

My concerns (if any) could be overcome by:

1. A single level extension, sharing the roofline and side wall of the existing property.

Alternatively:

2. Proposed two storey extension (as indicated in the plan) to finish where our property ends. Then to continue as a single storey extension to the garage.

We are not opposed to the extension, just aspects of this first draft.

REPRESENTATION Category 2 (Page 1)

CITY OF UNLEY

24 FEB 2021

REF:

To: Paul Weymouth, City of Unley Development Section

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The closing date for Representations is 5pm on 26 February 2021.

Application: 090/965/2020/C2 91 Alfred Street, Parkside 5063

Details of Person(s) making Representation:

Name:

Postal Address:

EMAIL ADDRESS:

Daytime Phone No

Property affected
by Development

(Signature)

(Date)

REPRESENTATION Category 2 (Page 2)

To: Paul Weymouth, City of Unley Development Section

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The closing date for Representations is 5pm on 26 February 2021.

Application:	090/965/2020/C2 91 Alfred Street, Parkside 5063
Property affected by Development	86 Youngstreet

☒ I support the proposed development.

OR (Tick one only)

☒ I object to the proposed development because:

(Please state your reasons so that each planning issue can be clearly identified. Attach extra pages if you wish)

The proposed modern addition of the house will not blend in with other houses on the street and area. As the house is along Stamford street the 2 story addition will be very visible from the street. The house is within the heritage area so it is important that the 2 story addition is done in a way so it blend in with the houses on the street and in the area.

My concerns (if any) could be overcome by: I suggest that the proposed addition of the house will be done in a way so the roofline is kept the same as the existing house. Similar as the 2 story extension on my house 86 Youngstreet.

☒ WISH TO BE HEARD

☐ DO NOT WISH TO BE HEARD

by the Council Assessment Panel

(Tick one box only. If you do not tick either box it will be assumed that you do not wish to be heard by the Council Assessment Panel.)

REPRESENTATION Category 2 (Page 1)

To: Paul Weymouth, City of Unley Development Section

22 FEB 2021

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3. Pages 1 and 2 (and any attachments) may be included as attachments in the hard copy of the Council Assessment Panel agenda.
4. Please note that in accordance with Section 38(8) of the Development Act 1993, a copy of this representation (Pages 1 and 2 and attachments) will be forwarded to the Applicant for consultation and response.

The **closing date** for Representations is **5pm on 26 February 2021**.

Application: 090/965/2020/C2 91 Alfred Street, Parkside 5063

Details of Person(s) making Representation:

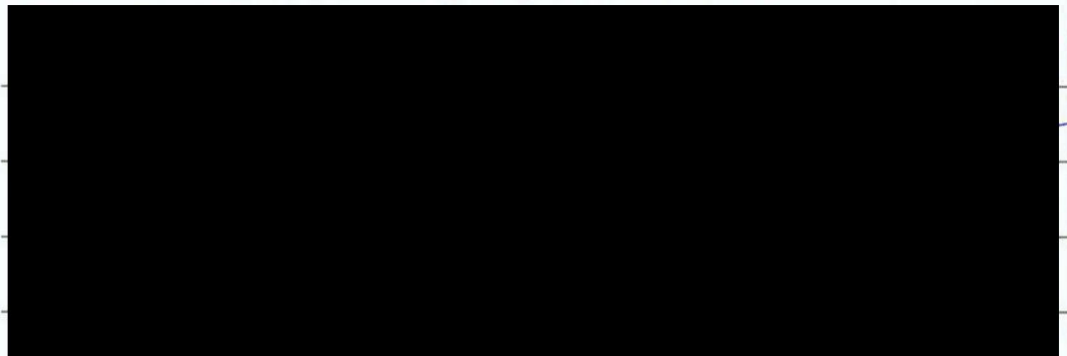
Name:

Postal Address:

EMAIL ADDRESS:

Daytime Phone No.

Property affected
by Development




(Signature)

22/2/2021
(Date)



REPRESENTATION Category 2 (Page 2)

To: **Paul Weymouth, City of Unley Development Section**

1. This page (ie Page 2) and any attachments may be published on the internet and thus be able to be searched via Google and other internet search engines.
2. In accordance with Section 38(8) of the Development Act 1993, a copy of this representation (Pages 1 and 2 and any attachments) will be forwarded to the Applicant for consultation and response.

The **closing date** for Representations is **5pm on 26 February 2021**.

Application:	090/965/2020/C2 91 Alfred Street, Parkside 5063
Property affected by Development	40 STAMLAND ST PARKSIDE

☐ I support the proposed development.

OR (Tick one only)

☒ I object to the proposed development because:

(Please state your reasons so that each planning issue can be clearly identified. Attach extra pages if you wish)

I OBJECT TO THE 3 WINDOW ABOVE THE NEW 2 STORY ADDITION BEING CLEAR GLASS. I AM OK WITH THE REST OF THE BUILDING. I THINK THEY SHOULD BE FROSTED OR OBSCURE GLASS.

My concerns (if any) could be overcome by:

TO OVERCOME THIS PROBLEM PUT FROSTED OR OBSCURE GLASS.

☐ WISH TO BE HEARD

☒ DO NOT WISH TO BE HEARD

by the Council Assessment Panel

(Tick one box only. If you do not tick either box it will be assumed that you do not wish to be heard by the Council Assessment Panel.)

ATTACHMENT C

12 April 2021

City of Unley
 Development and Regulatory Services
 181 Unley Road
 UNLEY SA 5061

Attention: Paul Weymouth

Dear Paul

**Re: DA 965/2020/C2
 91 Alfred Street, Parkside
 Response to Representations**

MasterPlan (SA) Pty Ltd act on behalf of the applicant, J. A. C. Kitson, regarding their Development Application seeking consent to carry out alterations and additions including an upper storey, ground floor extension, garage, and in-ground swimming pool.

MasterPlan have been engaged to respond to the four (4) letters of representation submitted during public notification of the abovementioned Development Application. The four (4) valid representations received are summarised in Table 1 below:

Table 1: Representations received during public notification

REPRESENTOR	ADDRESS	CONCERNS	APPEARANCE AT CAP
Chris Rawlinson & Patricia O'Rourke	88 Young Street, Parkside	Building form Building height Privacy	Did not indicate. Does not wish to be heard (assumed).
Henryk & Halina Kordek	89 Alfred Street, Parkside	Heritage character Eastern building interface	Wishes to be heard.
Sanaz Dashgarzadeh & Magnus Olsson	86 Young Street, Parkside	Impact on local character and streetscape	Wishes to be heard.
M. De Rosa	40 Stamford Street, Parkside	Privacy	Does not wish to be heard.





In response to the concerns raised in the representations, amendments to the design have been undertaken. The key amendments consist of the following:

- the setback of the upper building level from the eastern property boundary has been increased to 3.0 metres for the entirety of the upper level;
- additional articulation of the east facing wall of the upper level has been provided in the form of a scyon axon cladding design feature and a 1.8 metre high window incorporating a 300 millimetre projecting hood feature; and
- fixed vertical aluminium fins projecting 300 millimetres have been provided on the southern side of all west facing windows on the upper level.

In the context of these amendments, we respond to the respective concerns and comments raised in the representations below.

DESIGN AND APPEARANCE

Building Form and Character

Concerns have been raised in respect to the contemporary building form and the perceived impact (detraction) from the prevailing character and heritage value of the streetscape and locality.

The subject land is located on the western periphery of the Residential Historic (Conservation) Zone and Policy Area 2 – Compact Parkside St Ann's Estate. The policies of the Zone reinforce the importance of new residential development complementing the historic character and heritage value of the area.

Importantly, the policy does not intend for new development to replicate historic architectural styles or details. To the contrary, the policy explicitly states that buildings should be of a *"high quality contemporary design and not replicate historic styles"*, and seeks to guide design away from *"inferior reproduction"* buildings and building elements. This intention is consistent with the principles of adaptive reuse which seek to give new life to heritage sites and areas by preserving aspects that contribute to the historic fabric whilst also encouraging flexibility for the adaption and progression of the built form through contextual building design. Often in heritage and historical contexts it is the design outcomes which balance a juxtaposition of old and new fabric that best serve to complement and emphasise the elements of historic value.

Adopting this approach, the proposed extension purposefully presents as a markedly contemporary building, with a form and materiality that provides contrast with the prevailing dwelling. This is not an uncommon approach to rear residential extensions in areas of heritage character, particularly within Unley. The primary intent of the relevant historic character policy is to protect the *"traditional street-fronting format"* with residential development that maintains the characteristic pattern of open front gardens with traditional building forms to the primary street frontage that *"should present a single storey built scale to the streetscape"* and maintain *"the strong presence of dwellings fronting the street"*.



The proposed extension is set deep within the allotment, well back from the primary street frontage. The siting of the extension to the rear of the existing building maintains the primacy of the established dwelling form in the context of the Alfred Street streetscape and continues the prevailing pattern of open landscaped gardens and dwellings of a single storey appearance along the street. The Zone and Policy Area provide little guidance in respect to how development on corner sites should present to the secondary street frontage; however the design intention for single storey "*street fronting*" forms is considered to only be relevant to the Primary street frontage.

Building Height

Building height and scale has been raised as a concern within the representations. Policy guidance on suitable building heights is provided within the Desired Character Statement for Policy Area 2 – Compact Parkside St Ann's Estate (CH2) policy. Consideration has been given to the building height policy which states that "*Development will ... maintain and respect important features associated with architectural styles of contributory items having typically:*

- (i) *Building wall heights in the order of 3.3 metres to 3.5 metres; and*
- (ii) *Total roof heights in the order of 5.7 metres; and,*
- (iii) *Roof pitches in the order of 27 degrees and 35 degrees."*

It is noted that the subject land is located on the periphery of the policy area, with Stamford Street forming the western boundary of the CH2 Policy Area, as depicted in Policy Area Map Un/14. The western alignment of Stamford Street is located in the Residential Streetscape (Built Form) Zone, Compact Policy Area 8, Parkside (North) Precinct 8.3, where no quantitative building height policy applies. Consideration of the provisions of an adjacent zone are recognised as an appropriate Planning assessment doctrine and are considered relevant in this instance given the resulting character transition.

Nevertheless, the proposed building extension does not satisfy the relevant quantitative figures for the CH2 Policy Area. It is however pertinent to note that when considering the development holistically, the predominant portion of the resulting dwelling will satisfy the building height provisions. The utilisation of the existing dwelling within the redevelopment ensures that the single storey dwelling form remains the primary street fronting building element and represents an integral component of the overall development.

Consideration has been given to Zone Principle of Development Control (PDC) 10 which states that the "*scale and form of buildings*" should be "*relative to their setbacks as well as the overall size of the site*". The over-height element of the design is appropriately setback from property boundaries and away from key interfaces.



The second storey element is setback behind the existing dwelling by some 16.5 metres from the primary street frontage, which is the key interface point discussed in the relevant policy. In respect to the secondary street frontage, a 6.0 metre setback is provided from the Stamford Street frontage to address concerns of bulk and scale. Landscaping along the western boundary will further assist in softening the visual interface with Stamford Street. A 6.9 metre setback is provided from the rear boundary, which backs onto a rear access lane (Oxenbould Lane) that provides a further 5.0 metres of separation to the adjacent property to the south. An increased 3.0 metre setback has been provided to the eastern boundary. This interface is discussed in greater detail **below**.

Given the considered siting and design of the proposed second storey element, it is considered that the scale and form of the *"high quality contemporary design"* is acceptable relative to the setbacks and overall size the land.

Eastern Interface

Further consideration has been given to the interface of the proposed extension in response to the representation received from Henryk & Halina Kordek at 89 Alfred Street, Parkside (direct neighbours to the east).

In order to alleviate the visual scale of the extension on the adjacent property, internal alternations to the design have been undertaken to allow a recessing of the upper storey element from the ground floor providing a 3.0 metre setback from the eastern boundary. Further articulation has also been provided to the upper level east-facing wall in order to alleviate its appearance as a *"utility"* wall, providing greater visual interest.

Consideration has been given to PDC 9 of the Residential Historic (Conservation) Zone which states the following:

PDC 9: Development should present a single storey built scale to the streetscape. Any second storey building elements should be integrated sympathetically into the dwelling design, and be either:

- (a) incorporated primarily into the roof or comprise an extension of the primary single storey roof element without imposing excessive roof volume or bulk, or massing intruding on neighbouring spacious conditions nor increasing the evident wall heights as viewed from the street; or**
- (b) set well behind the primary street façade of the dwelling so as to be inconspicuous in the streetscape, without being of a bulk or mass that intrudes on neighbouring properties.**

The intent of the provision is to ensure that new development does not present with excessive bulk and scale which intrudes on the spacious conditions of neighbouring properties. Whilst the development is not proposed to comprise an extension of the existing roof form, it is considered that the proposed design and amendments still satisfy the intent of this provision and maintain an appropriate level of visual amenity for the neighbouring property to the east.



OVERLOOKING AND PRIVACY

Privacy concerns have been raised in the representation of Chris Rawlinson and Patricia O'Rourke. As indicated in the representation, the property affected is 88 Young Street, Parkside located diagonally opposite the subject land on the opposite side of Stamford Street. The concern of the representors is that there are potential vantage points through the upper level west facing windows that enable views into their rear yard.

The potential for overlooking into the property at 88 Young Street is inhibited by the distance between the properties, the presence of intervening structures (including a car port and heavily vined pergola on the representors land), the presence of street trees along both alignments of Stamford Street, and the presence of landscaping (existing and proposed) on both properties. Nevertheless, the applicant has agreed with the request of the representors to provide fixed vertical fins to act as screening devices, as depicted in the enclosed amended Plan set. These fins will project 300 millimetres from the building. It is not possible for the fins to project 1.0 metre as requested due to potential issues with windshear and complexities in appropriately fixing fins of this size and weight to the building.

A request was made by the representor M. De Rosa for the provision of obscured glazing to the west facing upper level windows. Given that the west facing windows primarily overlook a public street and the open front yards of dwellings, obscured glazing has not been provided.

The provisions of the Development Plan seek to ensure that a reasonable level of privacy is maintained for adjacent residential properties. The proposed development is considered to satisfy this intent being sited and designed to ensure reasonable levels of privacy are maintained for all existing residences within the locality.

CLOSURE

With consideration of the amendments to the design and the response provided herein, we have formed the view that the concerns raised during public notification have been appropriately addressed and the development satisfies the provisions of the Development Plan and warrants consent.

Please advise us of the time and date of the Council Assessment Panel meeting so we can arrange to be in attendance and respond to any verbal submissions to the Panel.

Yours sincerely

Nick Wilson
MasterPlan SA Pty Ltd

enc: Amended Architectural Plans.

cc: Greg Vincent.
Brian Ettridge.
James Kitson.

ITEM 2**DEVELOPMENT APPLICATION – 090/96/2021/C2 – 5 SELKIRK AVENUE,
BLACK FOREST SA 5035 (CLARENCE PARK)**

DEVELOPMENT APPLICATION NUMBER:	090/96/2021/C2
ADDRESS:	5 Selkirk Avenue, Black Forest SA 5035
DATE OF MEETING:	18 May 2021
AUTHOR:	Paul Weymouth
DEVELOPMENT PROPOSAL:	Carry out alterations and construct upper storey additions to existing dwelling and erect carport/verandah
HERITAGE VALUE:	Nil
DEVELOPMENT PLAN:	15 October 2020
ZONE:	Residential B350
APPLICANT:	A Young
OWNER:	C B O'Dwyer and G A Lugg
APPLICATION TYPE:	Merit
PUBLIC NOTIFICATION:	Category 2
REPRESENTATIONS RECEIVED:	YES – (3 oppose & 1 support)
CAP'S CONSIDERATION IS REQUIRED DUE TO:	Unresolved representations
RECOMMENDATION:	Approval
KEY PLANNING ISSUES:	Building bulk / mass Streetscape character Amenity impacts

1. PLANNING BACKGROUND

Land Division - Torrens Title - Create 2 allotments from 1 existing and construct new two storey dwelling on second allotment with garage Stage 1 - Alterations to existing dwelling only (Lot 1) – Granted 29/03/2017

2. DESCRIPTION OF PROPOSAL

The proposal is seeking to construct an upper storey addition to an existing dwelling comprising a new living room, bedrooms and ensuite. The additions are designed with hipped roofs and materials that include horizontal weatherboard wall cladding, aluminium frame windows and doors and Colorbond roof sheeting.

A new flat roof carport/verandah is to be attached to the northern side of the dwelling that would be accessed from Merlon Avenue. The structure will measure 8.0 metres in length, 4.84 metres wide and 2.53 metres in height to the top of the posts.

3. SITE DESCRIPTION

The subject land is a residential allotment located at 5 Selkirk Avenue, Black Forest. The land is situated at the corner of Selkirk Avenue and Merlon Avenue.

The land is a rectangular shape allotment with a primary frontage of 15.24 metres to Selkirk Avenue, a frontage of 17.81 metres to Merlon Avenue (excluding the cut-off adjacent to the road intersection) and a total site area of approximately 387m².

Currently occupying the land is a single storey Tudor style dwelling.

There are no Regulated trees on the site or on adjoining properties.

4. LOCALITY PLAN



5. LOCALITY DESCRIPTION

Land Use

The locality is entirely residential in land use. Existing development comprises predominantly of detached dwellings at low densities.

Land Division/Settlement Pattern

The original allotment layout and development pattern is mostly intact, although there are instances of infill development particularly in the form of corner cut-offs. Allotments are typically rectangular with varied road boundary setbacks in some areas.

Dwelling Type / Style and Number of Storeys

Existing dwellings include a mix of traditional bungalows and Tudors with some conventional buildings. While dwellings are mostly single storey, there are instances of two storey development along Merlon Avenue. Roofs typically have a steep pitch and are quite tall.

Fencing Styles

Fencing is typically low styles and of varying styles that include solid brick, timber pickets, brush and wire mesh.

6. STATUTORY REFERRALS

No statutory referrals required.

7. NON-STATUTORY (INTERNAL) REFERRALS

No non-statutory (internal) referrals were undertaken.

8. PUBLIC NOTIFICATION

Category 2 notification was undertaken in accordance with Table Un/8 of the Unley Development Plan. During the ten (10) business day notification period, four (4) representations were received as detailed below:

2A Selkirk Avenue, Black Forest (oppose)	
ISSUES RAISED	APPLICANT'S RESPONSE
Loss of privacy (overlooking)	North-facing windows overlook the street. The centre window is a staircase window. Street trees will also block views.
3 Merlon Avenue, Black Forest (oppose)	
ISSUES RAISED	APPLICANT'S RESPONSE
Visual Impact	Colour of external cladding will not be a bright colour that produces glare.
Overshadowing	The setback is considerable at 3.6 metres from the eastern property and would have little or no impact.
3 Selkirk Avenue, Black Forest (oppose)	
ISSUES RAISED	APPLICANT'S RESPONSE
Loss of privacy (overlooking)	North-facing windows overlook the street. The centre window is a staircase window. Street trees will also block views.
4 Selkirk Avenue, Black Forest (support)	

ISSUES RAISED	APPLICANT'S RESPONSE
Support	Noted

(* denotes non-valid planning considerations)

9. DEVELOPMENT DATA

Site Characteristics	Dwelling Additions & Carport	Development Plan Provision
Total Site Area	387m ²	Existing
Frontage	15.24m	Existing
Depth	20.86m	Existing
Building Characteristics		
Floor Area		
Ground Floor	175m ²	
Site Coverage		
Roofed Buildings	45%	<input type="checkbox"/> 50% of site area (minor departure)
Total Impervious Areas	70% approx.	<input type="checkbox"/> 70% of site
Total Building Height		
From ground level	8.0m	Two storeys
From ground level of the adjoining affected land	8.0m approx.	Two storeys
Setbacks		
Ground Floor		
Front boundary (west)	No change	N/A
Side boundary (north)	Carport – 475mm	900m to habitable room window of adjacent dwelling
Side boundary (south)	No change	N/A
Rear boundary (east)	Carport – 990mm	900m to habitable room window of adjacent dwelling
Upper Floor		
Front boundary (west)	8.3m	Behind primary street facade
Side boundary (north)	5.3m	3m - upper
Side boundary (south)	3.2m	3m - upper
Rear boundary (east)	3.5m	8m - upper
Private Open Space		
Min Dimension	4m+	<input type="checkbox"/> 4m minimum
Total Area	70m ² + (18%)	<input type="checkbox"/> 20%
Car parking and Access		
On-site Car Parking	1 space	2 per dwelling
Colours and Materials		

Roof	Colorbond sheeting (to match existing)	
Walls	Weatherboard panel	

(items in **BOLD** do not satisfy the relevant Principle of Development Control)

10. ASSESSMENT

Zone Desired Character and Principles of Development Control

Residential B350 Zone
<i>Objective 1: Provision for a range of dwelling types of up to two storeys compatible in form, scale and design with the existing positive elements of the character of the area.</i>
Desired Character
<p><i>This Zone is intended to continue as an attractive and established living area with limited infill development. All types of single storey and two-storey housing development in this Zone should ensure that the character and levels of amenity of the locality enjoyed by existing residents is substantially maintained.</i></p> <p>Housing Types <i>Given the extended period over which areas of the Residential B350 Zone developed a wide range of housing types is evident in the Zone. These include single fronted detached dwellings on small allotments to larger villas and bungalows on larger allotments. Residential flat buildings constructed in the 1960's and 1970's are also scattered throughout the Zone. Development should reflect the character and improve the amenity of the immediate area in which it is proposed having particular regard to wall height, roof form, external materials, siting and front and side boundary set-backs.</i></p> <p><i>Allotment sizes vary but are generally between 500 and 700 square metres with sound buildings, thus limiting individual site infill redevelopment opportunities. As such infill development is envisaged through aggregation of larger sites or the replacement of unsound dwellings. Areas formed by the older buildings in the zone, close to railway stations may offer better opportunities for new higher density development.</i></p> <p>Streetscape <i>A wide variety of mature vegetation in private gardens and in street reserves is evident in the Zone. Landscaping associated with development should complement and enhance existing planting thereby improving the established character of the area.</i></p>
Assessment
<p>Objective 1 and the Desired Character for the Zone support development of up to two storeys provided it is compatible with the existing character of the area. Development should have regard to the predominant built form elements such as wall height, roof form, external materials, siting and front and side boundary set-backs.</p>

Traditional bungalow and Tudor style dwellings are characteristic within the locality, with these dwellings typically having steep pitched roofs that are visually prominent. There are also two visually prominent two-storey dwellings on the northern side of Merlon Avenue. It is acknowledged that the proposed upper storey addition would display some bulkiness, and while a more recessive and integrated design would improve the symmetry of the built form, on balance, the addition would not visually detract from the streetscape given the relatively modest footprint of the ground and upper levels and the separation from both street frontages. The siting of the front of the addition behind the existing front gable and porch and the roof hip roof design that pitches away at 23 degrees would also assist in minimising the bulkiness of the addition.

Minim

While the proposed additions would be visually prominent, the design, size and siting of the proposal would be sufficiently in keeping with the existing built form characteristics of the area, in accordance with Objective 1 of the Residential B350 Zone.

Relevant Zone Principles of Development Control	Assessment
PDC 1 <i>Development should be primarily for dwellings of up to two storeys compatible in form, scale and design with existing positive elements of the character of the area.</i>	As considered above, the relatively small size of the ground and upper levels of the dwelling and the separation provided to the road frontages, would sufficiently maintain the existing character of the area, which is characterised by dwellings with steep pitched roofs and some visually prominent two storey development.
PDC 6 <i>Development should provide for attractive front garden landscaping, including the planting of at least one tree per dwelling.</i>	The proposal would maintain the front garden as all building work is to be located above the existing building footprint and toward the rear of the dwelling.

Relevant Council Wide Objectives and Principles of Development Control

An assessment has been undertaken against the following Council Wide Provisions:

City-wide Objectives and Principles of Development Control		
Design and Appearance	Objectives	1, 2
	PDCs	1, 2, 3, 9, 10, 12, 13, 14, 19, 20, 21
Energy Efficiency	Objectives	1, 2
	PDCs	1, 2, 3, 4
Form of Development	Objectives	1, 3, 4, 7
	PDCs	1, 2, 3
Interface Between Land Uses	Objectives	1, 2, 3
	PDCs	1, 2, 3
Landscaping	Objectives	1

	PDCs	1, 2
Public Notification	PDCs	1
Residential Development	Objectives	1, 2, 4
	PDCs	1, 5, 6, 7, 13, 14, 15, 16, 17, 19, 20, 23, 24, 32, 33, 34, 35, 36, 37, 40, 41, 42

The following table includes the Council-wide provisions that warrant further discussion in regard to the proposed development:

Relevant Council Wide Provisions	Assessment
Residential Development	
<i>PDC 13 & 14 – Side and Rear Boundary Setbacks</i>	<p>Council Wide PDC 13 recommends a minimum setback of 1.0 metre from side boundaries for single storey buildings and 3.0 metres for two storey buildings with walls up to 7.0 metres in height. The proposed upper storey additions satisfy these setback requirements.</p> <p>In terms of rear setbacks, PDC 13 prescribes a minimum setback of 8.0 metres for two storey buildings. The rear setback of 3.5 metres to the upper storey is significantly less than the recommended setback, however the reduced separation would have a negligible impact on the eastern neighbour as the adjoining dwelling is located close to the boundary and the private open space for this dwelling is on the opposite side of the property.</p> <p>It is also noted that the rear wall of the existing dwelling is setback only 990mm from the eastern boundary because of the previous division of the land in which the original rear yard was excised from dwelling to create the adjoining allotment at 3 Merlon Avenue.</p> <p>On balance, the siting and design of the proposed development in relation to the eastern side boundary would not significantly detract from the amenity of the neighbouring property and therefore is considered acceptable.</p>
<i>PDC 15</i> <i>Garages, carports, verandahs, pergolas, outbuildings and like structures</i>	<p>PDC 15 seeks to ensure that outbuildings and like structures (i.e. carports and verandahs) are designed and sited in a manner that is ancillary to the dwelling and not visually prominent within the locality.</p> <p>Although the proposed carport/verandah will be located close to Merlon Avenue frontage, the open-</p>

Relevant Council Wide Provisions	Assessment
	<p>sided design and the low post height of 2.53 metres will ensure that the structure is ancillary to the dwelling and visually unobtrusive within the Merlon Avenue streetscape.</p> <p>The above principle also recommends a minimum setback of 900mm from a habitable room window of an adjacent dwelling for an open sided structure. The structure would be setback at least 2.0 metres from the nearest habitable room window of the neighbouring property on the eastern side.</p>
PDC 16 & 17 – Site Coverage	<p>Council Wide PDC 17 prescribes a total roofed area of 50 percent of the area of the site. The proposed development will result in roofs covering approximately 45 percent of the site, which is acceptable. Furthermore, there is sufficient area on-site for stormwater detention and retention tanks and adequate private open space would be maintained.</p> <p>Accordingly, the proposal is not considered to result in an over-development of the site.</p>
PDC 19 & 20 – Private Open Space	<p>Approximately 70m² of private open space will be maintained for occupants of the dwelling, which equates to 18 percent of the site area. While PDC 20 recommends that at least 20 percent private open space be provided, the shortfall is considered minor as the layout, orientation and amount of private open space is suitable for clothes drying, entertaining and other domestic activities.</p>
PDC 29 Garages and Carports	<p>As required by PDC 29, the siting and design of the proposed carport would <i>"reinforce the prominence of the associated dwelling in the streetscape, and be compatible with the prevailing built form within the zone and locality"</i>. The flat roof design, modest post height and open sides would ensure the carport/verandah is subservient in scale and recessive in its appearance.</p>
PDC 38 & 39 – Overlooking / Privacy	<p>Two representors on the western side of Selkirk Avenue have raised concerns with the potential for overlooking from the upper storey windows of the proposed additions.</p>

Relevant Council Wide Provisions	Assessment
	<p>The proposal would not result in a loss of privacy to these adjacent properties at 2A and 4 Selkirk Avenue as views from the upper storey windows would primarily be directed onto the public road and towards the front yard of these properties. Therefore, the main habitable room windows and private open space areas of adjacent properties would not be affected and thus the street-facing windows of the proposed additions are not required to incorporate any privacy treatments.</p> <p>The southern side windows are designed with raised sills and obscured glazing to a height of 1.7 metres above the finished floor level.</p> <p>The proposal would sufficiently maintain the privacy of neighbouring properties in accordance with Council Wide PDC 38 and 39.</p>
<p>PDC 41 – <i>Overshadowing and Natural Light</i></p>	<p>Given the north to south orientation of the subject land and the relatively modest height and size of the upper storey, the shadow cast by the development would not significantly affect the adjoining properties on either side or to the rear.</p> <p>The living room windows and rear yards of neighbouring properties will continue to receive adequate sunlight in accordance with Council Wide PDC 41.</p>
<p>Transportation (Movement of People and Goods)</p>	
<p>PDC 13 & 20 – Access and Car Parking</p>	<p>The proposal includes a combined carport and verandah that is to be located adjacent Merlon Avenue. The eastern-most part of the structure is to be used as a carport for the parking of one vehicle while the remaining two bays will be used as a verandah.</p> <p>The current car parking arrangements include an uncovered park adjacent to the dwelling and on-street parking on Merlon Avenue. The proposed car parking will be consistent with these existing arrangements, with the new carport to be accessed via the existing vehicle crossover and the continuation of on-street parking on Merlon Avenue.</p> <p>When assessed against <i>Table Un/5 – Off Street Vehicle Parking Requirements</i>, there is a requirement for at least two car parking spaces,</p>

Relevant Council Wide Provisions	Assessment
	<p>with one space to be covered. The proposal is therefore at variance to Council Wide PDC 20 (Transportation – Movement of People and Goods) as there is a shortfall of one parking space.</p> <p>Although the proposal will continue to be deficient of one on-site car parking space, this is not considered to be fatal to the proposal given the existing car parking shortfall and the availability of at least two on-street parking spaces immediately adjacent to the site.</p>

11. CONCLUSION

The application is not considered to be seriously at variance with the Development Plan. In summary, the proposal is finely balanced but considered to sufficiently satisfy the provisions of the Development Plan for the following reasons:

- The proposal is an orderly and desirable form of development within the Residential B350, which envisages dwelling additions and infill development of up to two storeys in height;
- While a more recessive and integrated design would improve the symmetry and overall streetscape appearance of the proposed additions, in this instance the proposed built form would maintain the existing character of the area given the modest floor size of the dwelling and the separation to the street frontages;
- The design and siting of the proposed development would not adversely impact upon the amenity of neighbouring properties, in terms of visual impact, loss of privacy or access to natural light; and
- There is sufficient on-street parking available to address the shortfall of on-site car parking.

The application is therefore recommended for Development Plan CONSENT.

12. RECOMMENDATION

MOVED:

SECONDED:

That Development Application 090/96/2021/C2 at 5 Selkirk Avenue, Black Forest SA 5035 to carry out alterations and construct additions including upper storey and erect carport is not seriously at variance with the provisions of the City of Unley Development Plan and should be GRANTED Planning Consent subject to the following conditions:

DEVELOPMENT PLAN CONSENT DETAILS OF DECISION:

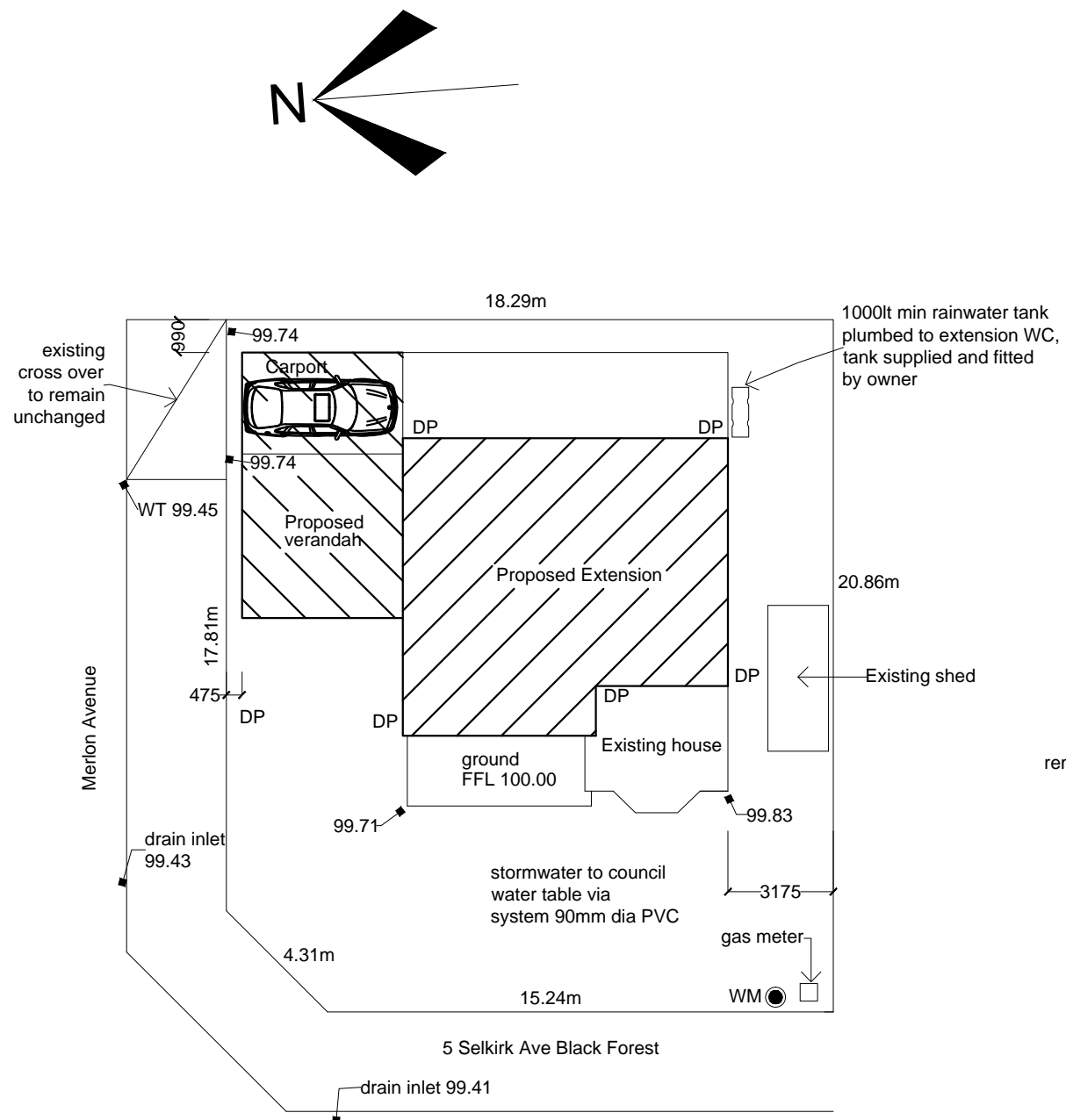
1. The Development herein approved shall be undertaken in accordance with all plans, drawings, specifications and other documents submitted to Council and forming part of the relevant Development Application except where varied by conditions set out below (if any) and the development shall be undertaken to the satisfaction of Council.
2. The sides of the carport approved herein shall not be enclosed with any solid material without the prior consent of Council.
3. All stormwater from the building and site shall be disposed of so as to not adversely affect any properties adjoining the site or the stability of any building on the site. Stormwater shall not be disposed of over a crossing place.
4. The upper floor windows on the southern elevations shall be treated to avoid overlooking prior to occupation by being fitted with either permanently fixed non-openable obscure glazed panels or raised sills to a minimum height of 1700mm above floor level with such measures to be kept in place at all times.

NOTES

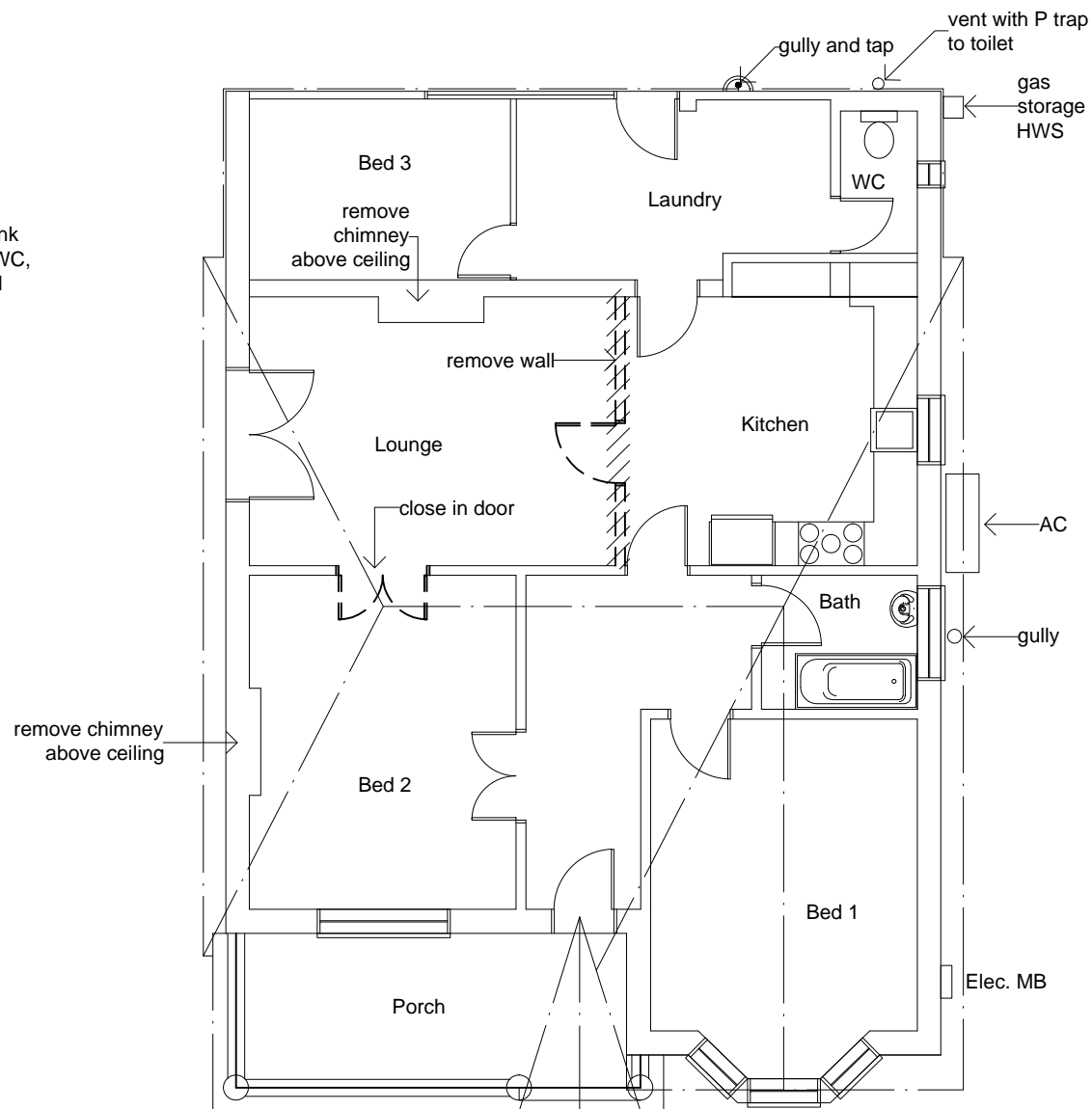
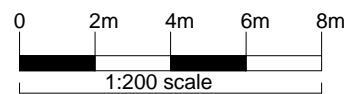
- The applicant is reminded of the requirements of the Fences Act 1975. Should the proposed works require the removal, alteration or repair of an existing boundary fence or the erection of a new boundary fence, a 'Notice of Intention' must be served to adjoining owners. Please contact the Legal Services Commission for further advice on 1300 366 424 or refer to their web site at www.lsc.sa.gov.au.
- That any damage to the road reserve, including road, footpaths, public infrastructure, kerb and guttering, street trees and the like shall be repaired by Council at full cost to the **applicant**.
- It is recommended that as the applicant is undertaking work on or near the boundary, the applicant should ensure that the boundaries are clearly defined, by a Licensed Surveyor, prior to the commencement of any building work.
- That any necessary alterations to existing public infrastructure (stobie poles, lighting, traffic signs and the like) shall be carried out in accordance with any requirements and to the satisfaction of the relevant service providers.

List of Attachments		Supplied By:
A	Application Documents	Applicant
B	Representations	Administration
C	Response to Representations	Applicant

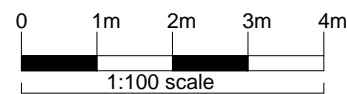
ATTACHMENT A



Site plan



Existing plan



MOBILE: 0417 800 677

BUILDERS LICENCE: 194807

DRAWN BY DM DESIGN AND DRAFTING

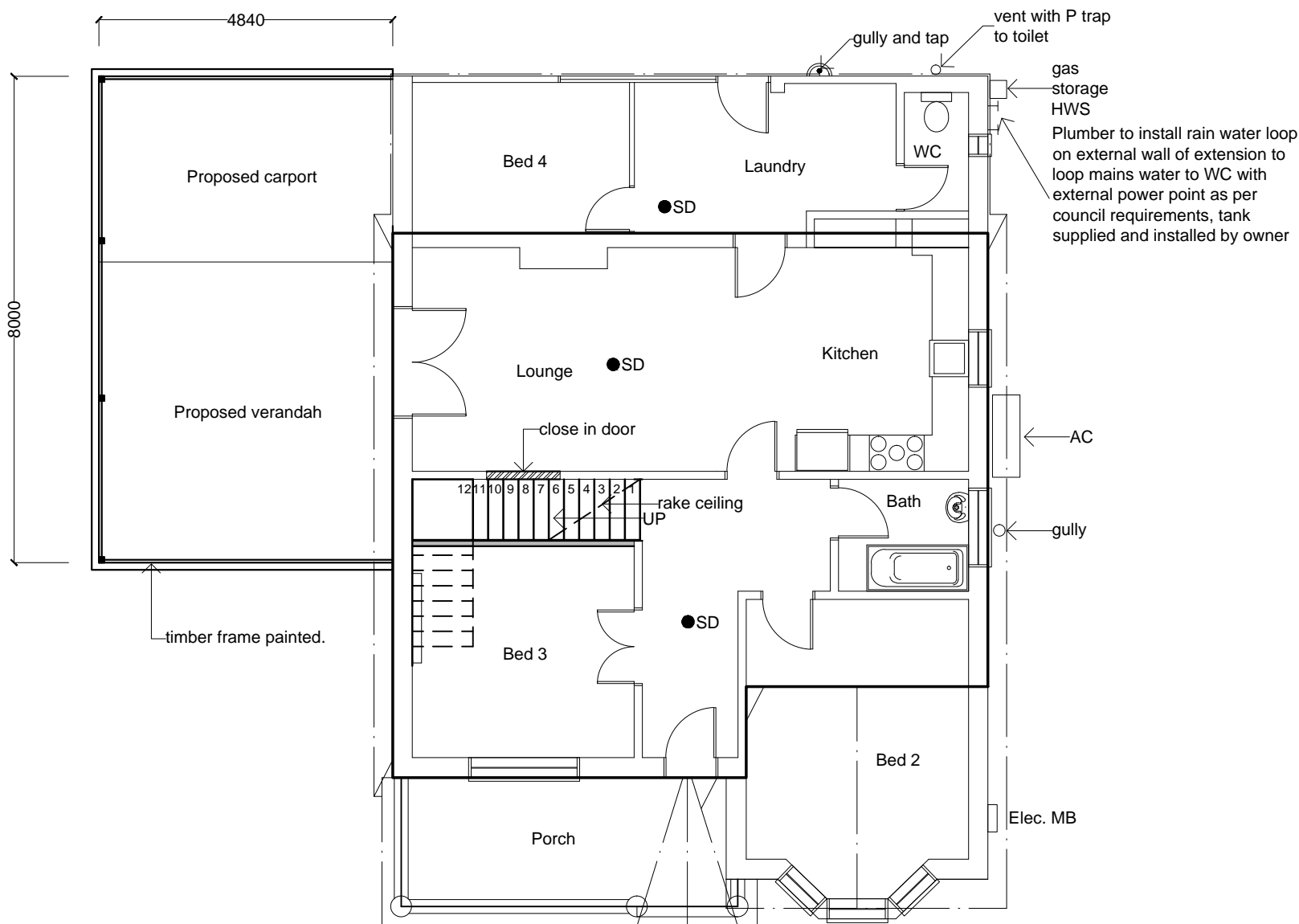
PROPOSED: Extension at
5 Selkirk Ave Black Forest for
Christian & O'dwyer & Gabrielle Lugg

DRAWING: DATE: 7/5/21
Site & existing plans SCALE: As shown
SHEET NO: 1 of 4

LEGEND: ●SD - Hard wired smoke detector
CI - Control joint
⊗ - Exhaust fan

AREA: Living 81.83m², carport 38.72

CONTRACTOR TO CHECK ALL MEASUREMENTS PRIOR TO STARTING. DO NOT SCALE DRAWINGS REPORT BY MAJOR DIFFERENCES OF DIMENSIONS TO THIS OFFICE.



CLASSIFICATION 1A TO COMPLY WITH NATIONAL CONSTRUCTION CODE VOLUME 2 WIND SPEED N1 - 28 m/s TIMBER FRAMED WALLS AND ROOF TO COMPLY WITH AS 1684.2 2006		
Wall Construction	- Light weight, selected weather board	
Height	- 2550mm	
Floor	- Timber frame	
Insulation	- Internal Walls	- R2.5
	- External Walls	- R2.5
	- External Ceilings	- R5.0
Cornice	- 50mm cove	
Skirtings	- 160 MDF splayed	
Architraves	- to match existing	
Reveals	- MDF	
Roof	- CGI Sheet roof colorbond to match existing	
Pitch	- 23°	
Gutters	- D gutter colorbond	
Fascia	- Colorbond	
Down pipes	- 90mm Dia PVC	
Eave	- Fibre cement lined, boxed 450mm wide	
Windows	- Aluminium , powder coated awning	
Storm water	- 90mm uPVC pipe	
Termite treatment	- NA	
To comply with	- NA	
AS 3660.1-2000		
Wet areas:		
Wet area construction shall be in accordance with the		
Build Code of Australia AS3740-2010 Waterproofing of domestic wet areas		
Glazing:		
All glazing shall be done in accordance with AS1288-2010,		
including safety glass for full height windows, glazed doors		
side panels and windows over or adjacent to a bath or shower		
SD - Smoke detectors to be interlinked, to have all detectors alarm when		
any single detector is activated.		

Existing structure:
 Floors - Timber floor on strip footings
 Walls - Double brick
 Roof - Sheet roof, coupled



MOBILE: 0417 800 677 BUILDERS LICENCE: 194807

DRAWN BY DM DESIGN AND DRAFTING

PROPOSED: Extension at
 5 Selkirk Ave Black Forest for
 Christian & O'dwyer & Gabrielle Lugg

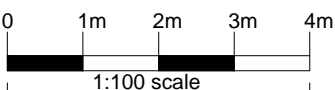
DRAWING: DATE: 7/5/21
 Proposed ground plan SCALE: 1:100
 SHEET NO: 2 of 4

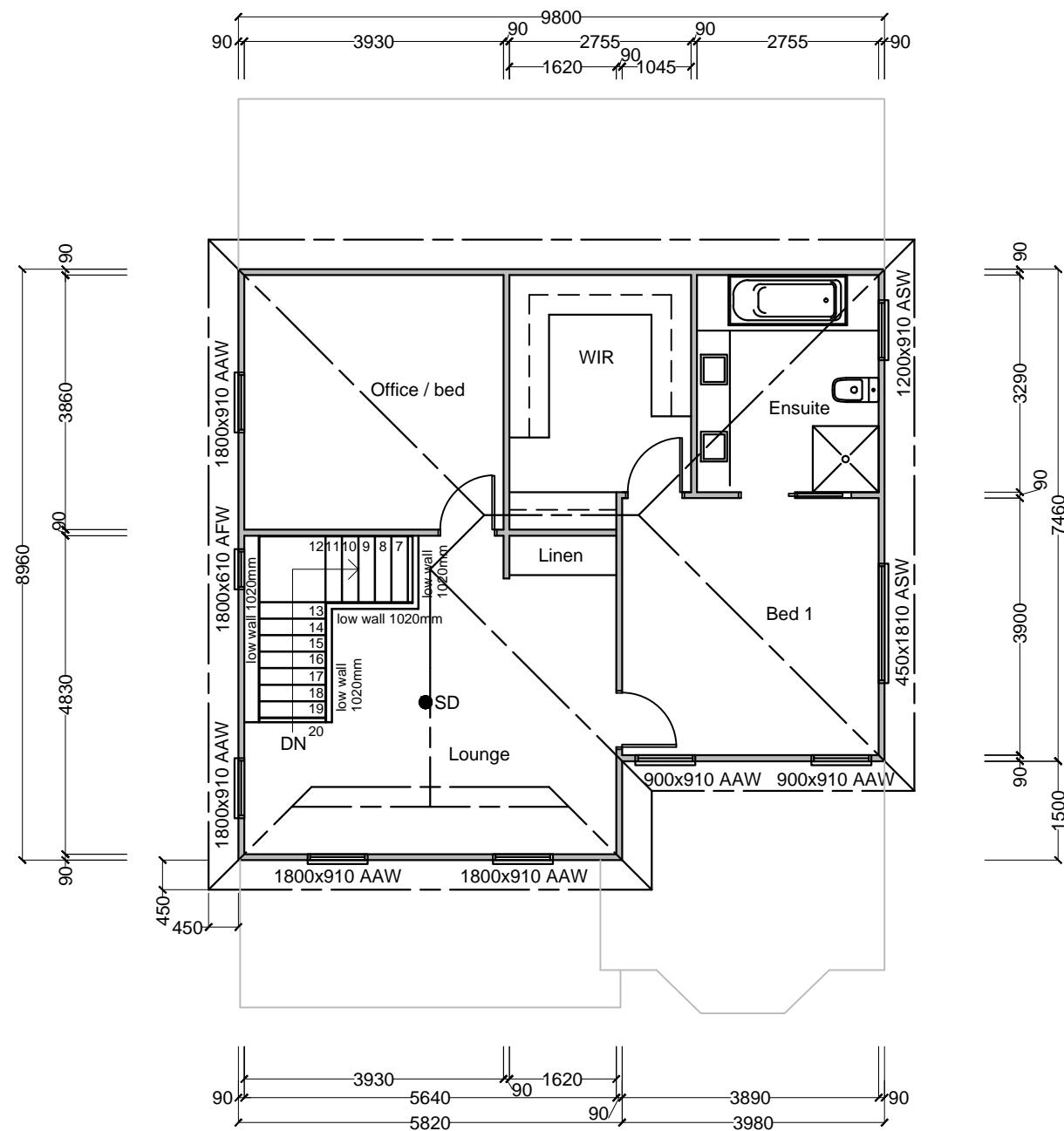
LEGEND: ●SD - Hard wired smoke detector
 CI - Control joint
 - Exhaust fan

AREA: Living 81.83m2, carport 38.72

CONTRACTOR TO CHECK ALL MEASUREMENTS PRIOR TO STARTING. DO NOT SCALE DRAWINGS REPORT ANY MAJOR DIFFERENCES OF DIMENSIONS TO THIS OFFICE.

Proposed ground plan





Proposed upper floor

CLASSIFICATION 1A
TO COMPLY WITH NATIONAL CONSTRUCTION CODE VOLUME 2
WIND SPEED N1 - 28 m/s
TIMBER FRAMED WALLS AND ROOF TO COMPLY WITH AS 1684.2 2006

Wall Construction	- Light weight, selected weather board
Height	- 2550mm
Floor	- Timber frame
Insulation	- Internal Walls - R2.5 - External Walls - R2.5 - External Ceilings - R5.0
Cornice	- 50mm cove
Skirtings	- 160 MDF splayed
Architraves	- to match existing
Reveals	- MDF
Roof	- CGI Sheet roof colorbond to match existing
Pitch	- 23°
Gutters	- D gutter colorbond
Fascia	- Colorbond
Down pipes	- 90mm Dia PVC
Eave	- Fibre cement lined, boxed 450mm wide
Windows	- Aluminium , powder coated awning
Storm water	- 90mm uPVC pipe
Termite treatment	- NA
To comply with	- NA
AS 3660.1-2000	

Wet areas:
Wet area construction shall be in accordance with the
Build Code of Australia AS3740-2010 Waterproofing of domestic wet areas

Glazing:
All glazing shall be done in accordance with AS1288-2010,
including safety glass for full height windows, glazed doors
side panels and windows over or adjacent to a bath or shower

SD - Smoke detectors to be interlinked, to have all detectors alarm when
any single detector is activated.

Existing structure:
Floors - Timber floor on strip footings
Walls - Double brick
Roof - Sheet roof, coupled



MOBILE: 0417 800 677 BUILDERS LICENCE: 194807

DRAWN BY DM DESIGN AND DRAFTING

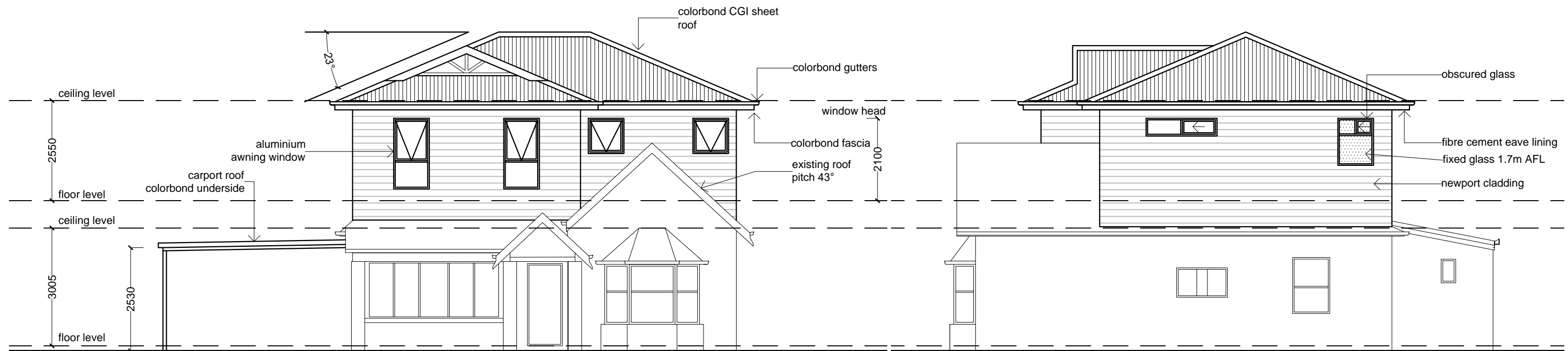
PROPOSED: Extension at
5 Selkirk Ave Black Forest for
Christian & O'dwyer & Gabrielle Lugg

DRAWING: DATE: 7/5/21
Proposed upper plan SCALE: 1:100
SHEET NO: 3 of 4

LEGEND: ●SD - Hard wired smoke detector
CJ - Control joint
- Exhaust fan

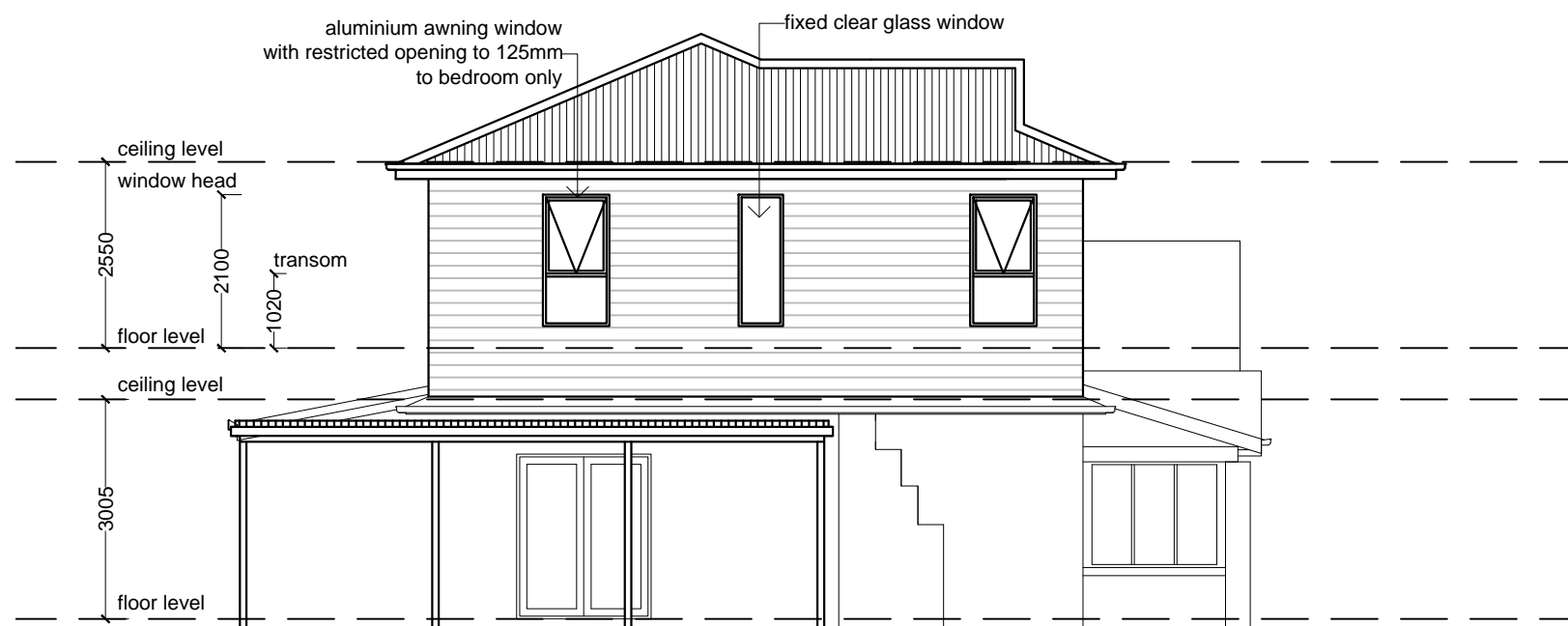
AREA: Living 81.83m2, carport 38.72

CONTRACTOR TO CHECK ALL MEASUREMENTS PRIOR TO STARTING. DO
NOT SCALE DRAWINGS REPORT MAJOR DIFFERENCES
OF DIMENSIONS TO THIS OFFICE.

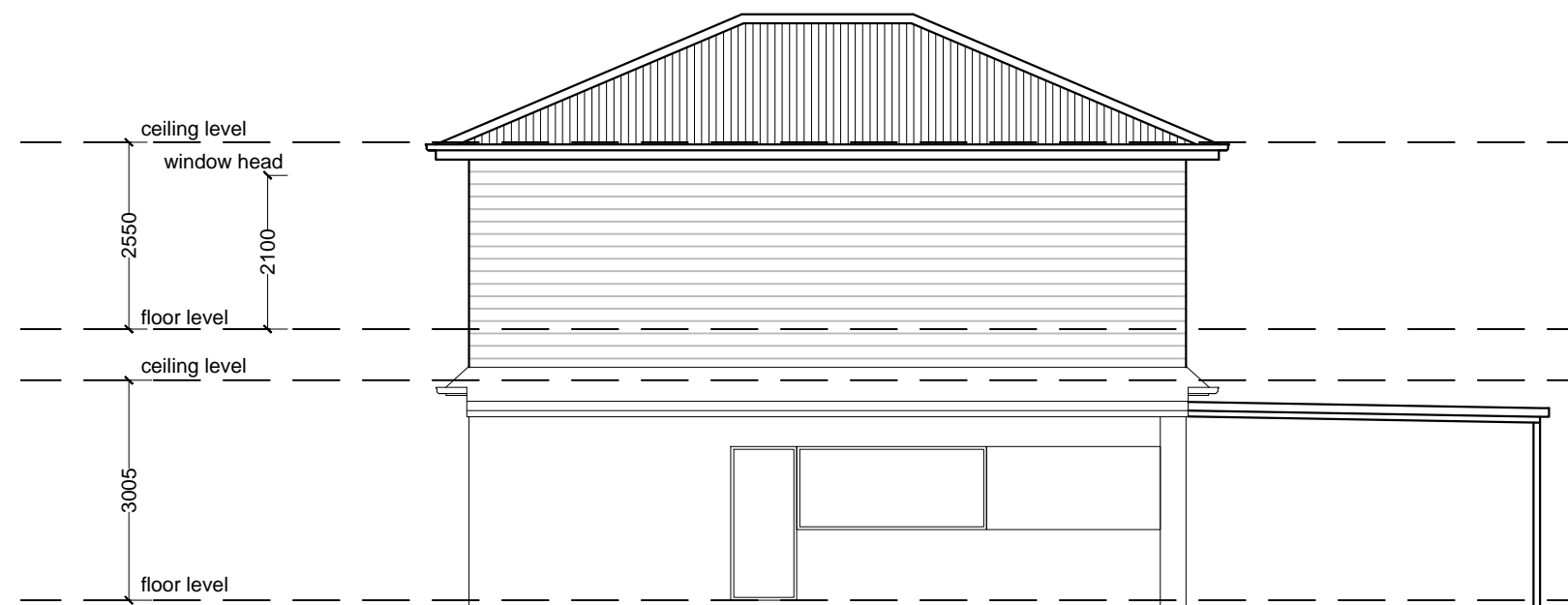


West Elevation

South Elevation



North Elevation



East Elevation



MOBILE: 0417 800 677

BUILDERS LICENCE: 194807

DRAWN BY DAVID MIFSUD DRAFTING SERVICE

PROPOSED: Extension at
5 Selkirk Ave Black Forest for
Christian & O'dwyer & Gabrielle Lugg

DRAWING: Elevations

DATE: 7/5/21

SCALE: 1:100

SHEET NO: 4 of 4

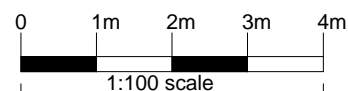
LEGEND: ●SD - Hard wired smoke detector

CJ - Control joint


⊗ - Exhaust fan

AREA: Living 81.83m2, carport 38.72

CONTRACTOR TO CHECK ALL MEASUREMENTS PRIOR TO STARTING. DO NOT SCALE DRAWINGS REPORT MAJOR DIFFERENCES OF DIMENSIONS TO THIS OFFICE.



ATTACHMENT B



Dear City of Unley

Please find attached a Representation regarding the proposed development at 5 Selkirk Avenue, Black Forest. The two-page Representation is contained in two separate files and there are two photos as attachments.

Kind regards





Photograph taken from 5 Selkirk Avenue to 2A Selkirk Avenue showing bedroom windows



Photograph of 5 Selkirk Avenue from 2A Selkirk Avenue, showing overlooking potential, deciduous tree, narrow footpath and narrow road between the properties

REPRESENTATION Category 2 (Page 1)

To: Paul Weymouth, City of Unley Development Section

Please read these notes carefully:

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3. Pages 1 and 2 (and any attachments) may be included as attachments in the hard copy of the Council Assessment Panel agenda.
4. Please note that in accordance with Section 38(8) of the Development Act 1993, a copy of this representation (Pages 1 and 2 and attachments) will be forwarded to the Applicant for consultation and response.

The **closing date** for Representations is **5pm on 15 March 2021**.

Application: 090/96/2021/C2 5 Selkirk Avenue, Black Forest SA 5035

Details of Person(s) making Representation:

Name:

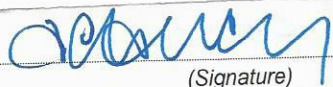
Postal Address:

EMAIL ADDRESS:

Daytime Phone No.

Property affected
by Development

2A Selkirk Avenue



(Signature)

13.3.2021

(Date)

REPRESENTATION Category 2 (Page 2)

To: Paul Weymouth, City of Unley Development Section

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The closing date for Representations is **5pm on 15 March 2021.**

Application:	090/96/2021/C2 5 Selkirk Avenue, Black Forest SA 5035
Property affected by Development	2A Selkirk Ave, Black Forest 5035

☐ I support the proposed development.

OR (Tick one only)

☒ I object to the proposed development because:

(Please state your reasons so that each planning issue can be clearly identified. Attach extra pages if you wish)

overlooking

The proposed development will have a second storey with windows that look directly into my bedrooms at the front of my home. The street trees around the site are deciduous. The road between these two properties is narrow & the footpaths are narrow. I will lose my privacy.

My concerns (if any) could be overcome by:

Frosting second storey glass or application of slats that divert views into my house.

☐ WISH TO BE HEARD

☒ DO NOT WISH TO BE HEARD

by the Council Assessment Panel

(Tick one box only. If you do not tick either box it will be assumed that you do not wish to be heard by the Council Assessment Panel.)

REPRESENTATION Category 2 (Page 1)

CITY OF UNLEY

15 MAR 2021

REF:

To: Paul Weymouth, City of Unley Development Section

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The closing date for Representations is 5pm on 15 March 2021.

Application: 090/96/2021/C2 5 Selkirk Avenue, Black Forest SA 5035

Details of Person(s) making Representation:

Name:

Postal Address:

EMAIL ADDRESS:

Daytime Phone No.

Property affected
by Development

3 MERLON AVENUE BLACK FOREST

[Signature]

(Signature)

14/03/21

(Date)

15 MAR 2021



RECEIVED

15 MAR 2021

REPRESENTATION Category 2 (Page 2)

To: Paul Weymouth, City of Unley Development Section

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The closing date for Representations is 5pm on 15 March 2021.

Application:	090/96/2021/C2 5 Selkirk Avenue, Black Forest SA 5035
Property affected by Development	3 MERLON AVENUE, BLACK FOREST.

☐ I support the proposed development.

15 MAR 2021

OR (Tick one only)

☒ I object to the proposed development because:

(Please state your reasons so that each planning issue can be clearly identified. Attach extra pages if you wish)

① APPEARANCE - AS 5 SELKIRK AVE IS ON A CORNER BLOCK WITH MERLON AVE, THE EAST ELEVATION WILL BE VERY VISIBLE FROM MERLON AVENUE. WHILE I APPRECIATE THE FACT THAT THE EAST ELEVATION HAS NO WINDOWS OVERLOOKING MY HOUSE, IN ITS CURRENT FORM IT LOOKS LIKE A BIG BLANK BOX ON TOP OF THE EXISTING HOUSE. ALSO, IF THE WEATHERBOARDS ARE FINISHED IN A LIGHT COLOUR, IT WILL LOOK LIKE A VERY BRIGHT SUN-REFLECTING BIG BLANK BOX.

② OVERSHADOWING - I AM CONCERNED THAT THREE ROOMS OF MY HOUSE WITH WINDOWS ON MY WESTERN SIDE WILL BE SIGNIFICANTLY DARKENED BY OVERSHADOWING FROM THIS LARGE ADDITION.

My concerns (if any) could be overcome by:

① APPEARANCE - BETTER ARTICULATION OF THE EAST ELEVATION BY A CHANGE IN SHAPE FROM THE PROPOSED APPROX. 11 METERS OF STRAIGHT BLANK WALL, AND/OR A MORE DECORATIVE ROOF SHAPE (BY DUTCH GABLE) FINISHING THE WEATHERBOARD CLADDING IN A MEDIUM TO DARK COLOUR (SIMILAR TO THE CURRENT DARK GREY FENCE OF THE PROPERTY).

② OVERSHADOWING - MY CONCERN MAY BE ALLEVIATED BY THE PROVISION OF A REPORT ON OVERSHADOWING TO MY HOUSE.

☒ WISH TO BE HEARD

☐ DO NOT WISH TO BE HEARD

by the Council Assessment Panel

(Tick one box only. If you do not tick either box it will be assumed that you do not wish to be heard by the Council Assessment Panel.)

SINCE MY HOUSE IS BUILT ON WHAT WAS THE BACK YARD OF 5 SELKIRK, I HAVE BENEFITED FROM AND SUPPORT THIS TYPE OF URBAN REDEVELOPMENT SO CLOSE TO THE CITY AND DO NOT OBJECT IN PRINCIPLE TO THIS APPLICATION. HOWEVER, I WOULD PREFER TO SEE SOMETHING SMALLER AND LESS DOMINATING IN THE PREDOMINANTLY SINGLE LEVEL HOUSING THAT SURROUNDS IT.

REPRESENTATION Category 2 (Page 1)

CITY OF UNLEY

12 MAR 2021

REF:

To: Paul Weymouth, City of Unley Development Section

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The closing date for Representations is 5pm on 15 March 2021.

Application: 090/96/2021/C2 5 Selkirk Avenue, Black Forest SA 5035

Details of Person(s) making Representation:

Name:

Postal Address:

EMAIL ADDRESS:

Daytime Phone No.

Property affected
by Development

as above


(Signature)

(Date) 11 MAR 21

REPRESENTATION Category 2 (Page 2)

To: Paul Weymouth, City of Unley Development Section

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The closing date for Representations is **5pm on 15 March 2021**.

Application:	090/96/2021/C2 5 Selkirk Avenue, Black Forest SA 5035
Property affected by Development	3 Selkirk Avenue Black Forest

☐ I support the proposed development.

OR (Tick one only)

☒ I object to the proposed development because:

(Please state your reasons so that each planning issue can be clearly identified. Attach extra pages if you wish)

The proposed second storey will directly overlook our only outdoor private living area. It will also overlook our large glass doors with a direct view into our main dining / living room. The proposal includes 3 clear glass windows at a height that will make this an uncomfortable living environment and significantly reduce our privacy. We are also concerned about future property value reduction, due to this issue.

My concerns (if any) could be overcome by:

Building opaque windows and reducing the size or position of the windows would help overcome our concerns.

☐ WISH TO BE HEARD

☒ DO NOT WISH TO BE HEARD

by the Council Assessment Panel

(Tick one box only. If you do not tick either box it will be assumed that you do not wish to be heard by the Council Assessment Panel.)







REPRESENTATION Category 2 (Page 1)

CITY OF UNLEY

03 MAR 2021

REF:

To: Paul Weymouth, City of Unley Development Section

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The **closing date** for Representations is **5pm on 15 March 2021**.

Application: 090/96/2021/C2 5 Selkirk Avenue, Black Forest SA 5035

Details of Person(s) making Representation:


Name:

Postal Address:

EMAIL ADDRESS:

Daytime Phone No

Property affected
by Development


(Signature)

26-2-2021
(Date)

REPRESENTATION Category 2 (Page 2)

To: **Paul Weymouth, City of Unley Development Section**

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The **closing date** for Representations is **5pm on 15 March 2021**.

Application:	090/96/2021/C2 5 Selkirk Avenue, Black Forest SA 5035
Property affected by Development	

☒ **I support the proposed development.**

OR (Tick one only)

☐ **I object to the proposed development because:**

(Please state your reasons so that each planning issue can be clearly identified. Attach extra pages if you wish)

My concerns (if any) could be overcome by:

☐ **WISH TO BE HEARD**

☒ **DO NOT WISH TO BE HEARD**

by the Council Assessment Panel

(Tick one box only. If you do not tick either box it will be assumed that you do not wish to be heard by the Council Assessment Panel.)

ATTACHMENT C

From: [REDACTED]
Sent: Mon, 19 Apr 2021 11:13:35 +0930
To: Paul Weymouth
Subject: RE: Representations to applicant 96/2021

Hi Paul,
Please see response below

-
Response to Representations

-
Norma on Eastern Side.

- Setback is considerable at 3.6 metres approximately from Eastern property and would have little or no impact to issues mentioned.
- Colour of external cladding will not be a bright colour that produces glare.
- Quote from letter at bottom of page 2. *'I have benefited from and support this type of urban development so close to the city and do not object in principle to this application.'*

Ralph on Northern side.

- Centre window is in stairwell and have a minimal view from inside to outside.
- Two windows each side of stairwell window overlook a proposed carport below and a street. (Merlon Ave)
- There are large trees on footpath all but blocking privacy issues.

Summary

Prior to drawing the proposed extension I personally contacted the planning department of council twice to make sure we were within the council design criteria of the area.

I feel we have done what the council requested for the application to be approved.

Kind Regards,

Andrew Young
Proprietor

ITEM 3**DEVELOPMENT APPLICATION – 090/13/2021/C2 – 60 ADDISON ROAD,
BLACK FOREST 5035 (CLARENCE PARK)**

DEVELOPMENT APPLICATION NUMBER:	090/13/2021/C2
ADDRESS:	60 Addison Road, Black Forest
DATE OF MEETING:	18 May 2021
AUTHOR:	Paul Weymouth
DEVELOPMENT PROPOSAL:	Construct verandah and carport on common boundary
HERITAGE VALUE:	Nil
DEVELOPMENT PLAN:	15 October 2020
ZONE:	Residential B350
APPLICANT:	Bargain Steel Centre
OWNER:	I Marantos and A Marantos
APPLICATION TYPE:	Merit
PUBLIC NOTIFICATION:	Category 2
REPRESENTATIONS RECEIVED:	YES – One oppose
CAP'S CONSIDERATION IS REQUIRED DUE TO:	Unresolved representations
RECOMMENDATION:	Approval
KEY PLANNING ISSUES:	Built form and siting Amenity impacts

1. PLANNING BACKGROUND

No relevant Planning Background.

2. DESCRIPTION OF PROPOSAL

The proposal is for the construction of a combined verandah and carport to the rear of an existing dwelling. The structure is designed with a flat roof at a maximum height of 2.98 metres. External materials comprise of Colorbond steel posts and roof sheeting.

The carport is sited on the eastern side boundary for a length of 10.0 metres.

3. SITE DESCRIPTION

The subject land is a residential allotment located at 60 Addison Road, Black Forest.

The land is a rectangular shape allotment with a frontage width of 15.24 metres and a total site area of 814.7m². The land is naturally flat.

Currently occupying the land is a single storey cottage style dwelling with a rear lean-to and outbuilding to the rear. The outbuilding is sited on the eastern side boundary. The existing dwelling does not have any heritage status.

There are no Regulated trees on the site or on adjoining properties.

4. LOCALITY PLAN



Subject Site



Locality



Representations

5. LOCALITY DESCRIPTION

Land Use

The locality is predominantly residential in land use. There are non-residential uses on the periphery of the locality, such as the Black Forest Primary School to the north and small-scale commercial uses fronting South Road. Existing development comprises predominantly of detached dwellings at low densities.

Land Division/Settlement Pattern

The original allotment layout and development pattern is largely intact. Allotments are typically rectangular in shape with relatively consistent road boundary setbacks.

Dwelling Type / Style and Number of Storeys

Existing dwellings include a mix of traditional cottages and bungalows with some conventional buildings, particularly to the east of Addison Road.

Fencing Styles

Fencing is typically low styles and of varying styles that include solid brick, timber pickets, brush and wire mesh.

6. STATUTORY REFERRALS

No statutory referrals required.

7. NON-STATUTORY (INTERNAL) REFERRALS

No non-statutory (internal) referrals were undertaken.

8. PUBLIC NOTIFICATION

Category 2 notification was undertaken in accordance with Table Un/8 of the Unley Development Plan. During the ten (10) business day notification period, one (1) representation was received as detailed below:

58 Addison Road, Black Forest (oppose)	
ISSUES RAISED	APPLICANTS RESPONSE
Extent of boundary development	The carport is required as there is currently no covered parking on the site. The location of the carport to the rear will protect the owners when accessing their back door.

Roof form and materials do not reflect the character and amenity of the area	The height of the carport will match the height of the existing garage roller door opening. The carport will be constructed of quality Colorbond materials finished in a colour to be selected by the applicant.
Overshadowing	Given the rear yard of no.2 Forest Avenue is orientated north, there would be minimal overshadowing
Size and scale	The height of the carport is required to tie it into the height levels of the back of the house and the existing garage.
Site coverage	No response provided

9. DEVELOPMENT DATA

Site Characteristics	Verandah / Carport	Development Plan Provision
Total Site Area	814.7m ²	Existing
Frontage	15.24m	Existing
Depth	53.46m	Existing
Building Characteristics		
Floor Area		
Ground Floor	385m ²	
Site Coverage		
Roofed Buildings	47%	□ 50% of site area (minor departure)
Total Impervious Areas	60% approx.	□ 70% of site
Total Building Height		
From ground level	2.98m	Two storeys
From ground level of the adjoining affected land	2.98m	Two storeys
Setbacks		
Ground Floor		
Front boundary (south)	Rear of dwelling	N/A
Side boundary (east)	On boundary	900m to habitable room window of adjacent dwelling
Side boundary (west)	4m	900m to habitable room window of adjacent dwelling
Rear boundary (north)	20m	900m to habitable room window of adjacent dwelling
Structure on Boundary		

Location	Eastern boundary	
Length	10.0m	12.0m
Height	2.98m	5.0m
Private Open Space		
Min Dimension	4m+	□ 4m minimum
Total Area	200m ² + (25%)	□ 20%
Car parking and Access		
On-site Car Parking	2 spaces covered & 2 uncovered	2 per dwelling where less than 4 bedrooms or 250m ² floor area
Colours and Materials		
Roof & posts	Colorbond roof sheeting and posts	

(items in **BOLD** do not satisfy the relevant Principle of Development Control)

10. ASSESSMENT

Zone Desired Character and Principles of Development Control

Residential B350 Zone
<i>Objective 1: Provision for a range of dwelling types of up to two storeys compatible in form, scale and design with the existing positive elements of the character of the area.</i>
Desired Character
<p><i>This Zone is intended to continue as an attractive and established living area with limited infill development. All types of single storey and two-storey housing development in this Zone should ensure that the character and levels of amenity of the locality enjoyed by existing residents is substantially maintained.</i></p> <p>Housing Types <i>Given the extended period over which areas of the Residential B350 Zone developed a wide range of housing types is evident in the Zone. These include single fronted detached dwellings on small allotments to larger villas and bungalows on larger allotments. Residential flat buildings constructed in the 1960's and 1970's are also scattered throughout the Zone. Development should reflect the character and improve the amenity of the immediate area in which it is proposed having particular regard to wall height, roof form, external materials, siting and front and side boundary set-backs.</i></p> <p><i>Allotment sizes vary but are generally between 500 and 700 square metres with sound buildings, thus limiting individual site infill redevelopment opportunities. As such infill development is envisaged through aggregation of larger sites or the replacement of unsound dwellings. Areas formed by the older buildings in the zone, close to railway stations may offer better opportunities for new higher density development.</i></p> <p>Streetscape <i>A wide variety of mature vegetation in private gardens and in street reserves is evident in the Zone. Landscaping associated with development should</i></p>

complement and enhance existing planting thereby improving the established character of the area.

Assessment

The subject land is situated within the Residential B350 Zone. The Desired Character for the Zone supports a variety of single and two storey development provided the streetscape character and the amenity of existing residents is maintained.

The proposal comprises a new verandah and carport that is small-scale and located to the rear of the existing dwelling. The modest scale and significant separation to the street would ensure the structure is not be readily visible within the streetscape.

Although the proposed carport is sited on the side boundary for a length of 10 metres, the existing amenity of the neighbouring property would be sufficiently maintained by virtue of the low roof profile, open sides and the orientation of the land. Furthermore, the siting of the carport on the boundary would not be at odds with the existing development pattern, which notably includes garages, carports and dwelling additions located on side and rear boundaries.

It should also be noted that the Development Plan anticipates such open sided structures on a side or rear boundary of up to 12 metres in length.

The design, size and siting of the proposal is considered to be sufficiently compatible with the existing built form character of the area, in accordance with Objective 1 of the Residential B350 Zone.

Relevant Zone Principles of Development Control	Assessment
PDC 1 <i>Development should be primarily for dwellings of up to two storeys compatible in form, scale and design with existing positive elements of the character of the area.</i>	As considered above, the small scale, open-sided design and siting of the carport to the rear of the dwelling would ensure the existing streetscape character and amenity of the locality is maintained.
PDC 6 <i>Development should provide for attractive front garden landscaping, including the planting of at least one tree per dwelling.</i>	The proposal would maintain the front garden as all building work is to be located toward the rear of the existing dwelling.

Relevant Council Wide Objectives and Principles of Development Control

An assessment has been undertaken against the following Council Wide Provisions:

City-Wide Objectives and Principles of Development Control		
Design and Appearance	Objectives	1, 2

	PDCs	1, 2, 3, 9, 10, 12, 13, 14, 19, 20, 21
Form of Development	Objectives	1, 3, 4, 7
	PDCs	1, 2, 3
Interface Between Land Uses	Objectives	1, 2, 3
	PDCs	1, 2, 3
Public Notification	PDCs	1
Residential Development	Objectives	1, 2, 4
	PDCs	1, 5, 8, 9, 10, 15, 16, 17, 19, 20, 23, 24, 29, 30, 32, 33, 34, 41, 42

The following table includes the Council-wide provisions that warrant further discussion in regards to the proposed development:

Relevant Council Wide Provisions	Assessment
Residential Development	
PDC 8 <i>Garages, carports and outbuildings</i>	PDC 8 requires a carport to be located at least one metre behind the front wall of the dwelling. The proposed carport is located 15 metres behind the front wall and 21 metres from the front boundary. PDC 8 is therefore satisfied.
PDC 15 <i>Garages, carports, verandahs, pergolas, outbuildings and like structures</i>	<p>PDC 15 seeks to ensure that outbuildings and like structures (i.e. carports and verandahs) are designed and sited in a manner that is ancillary to the dwelling and not visually prominent within the locality.</p> <p>This principle recommends a minimum setback of 900mm from a habitable room window of an adjacent dwelling for an open sided structure. The proposed carport is designed with open sides and would be setback at least 2.0 metres from the nearest habitable room window of the neighbouring property on the eastern side.</p> <p>From an amenity perspective, the impacts upon the eastern neighbour would not be significant for the following reasons:</p> <ul style="list-style-type: none"> • A significant portion of the carport will be located immediately adjacent to the side boundary wall of the adjoining dwelling; • The post height of 2.98 metres is only one metre or so taller than a standard boundary fence; • The sides of the carport will not be enclosed with any solid material; • The subject land and the adjoining property have a north to south orientation resulting in only minimal overshadowing; and

Relevant Council Wide Provisions	Assessment
	<ul style="list-style-type: none"> The materials will comprise of pre-coated Colorbond steel.
PDC 16 & 17 – Site Coverage	<p>Council Wide PDC 17 prescribes a total roofed area of 50 percent of the area of the site. The proposed development will result in roofs covering approximately 47 percent of the site, which is acceptable. Furthermore, there is considered to be sufficient area on-site for stormwater detention and retention tanks and adequate private open space would be maintained.</p> <p>Accordingly, the proposal is not considered to result in an over-development of the site.</p>
PDC 29 <i>Garages and Carports</i>	<p>As required by PDC 29, the siting and design of the proposed carport would <i>"reinforce the prominence of the associated dwelling in the streetscape, and be compatible with the prevailing built form within the zone and locality"</i>. The small size, flat roof form and generous front setback would ensure the carport is subservient in scale and recessive in its appearance.</p>
PDC 41 – <i>Overshadowing and Natural Light</i>	<p>Given the north to south orientation of the subject land, the modest height and size of the proposed carport and the open-sided design, the shadow cast by the development would not significantly affect the adjoining properties on either side or to the rear.</p> <p>The habitable room windows and yard areas of neighbouring properties will continue to receive adequate sunlight in accordance with Council Wide PDC 41.</p>

11. CONCLUSION

In summary, the application is not considered to be seriously at variance with the Development Plan and is considered to satisfy the provisions of the Development Plan for the following reasons:

- The proposal is an orderly and desirable form of development within the Residential B350, which envisages dwelling additions, outbuildings and infill development of up to two storeys in height;
- The proposed carport is subservient in scale and recessive in its appearance, thus not detracting from the existing dwelling or the character of the area; and

- It has been demonstrated that the design and siting of the proposed carport would not adversely impact upon the amenity of neighbouring properties, in terms of visual impact, loss of privacy or access to natural light.
- The length of the structure on the boundary is less than that anticipated by the Development Plan.

The application is therefore recommended for Development Plan CONSENT.

12. RECOMMENDATION

MOVED:

SECONDED:

That Development Application 090/13/2021/C2 at 60 Addison Road, Black Forest 5035 to construct verandah and carport on common boundary is not seriously at variance with the provisions of the City of Unley Development Plan and should be GRANTED Planning Consent subject to the following conditions:

DEVELOPMENT PLAN CONSENT DETAILS OF DECISION:

1. The Development herein approved shall be undertaken in accordance with all plans, drawings, specifications and other documents submitted to Council and forming part of the relevant Development Application except where varied by conditions set out below (if any) and the development shall be undertaken to the satisfaction of Council.
2. The eastern side of the verandah/carport approved herein shall not be enclosed with any solid material without the prior consent of Council.
3. All stormwater from the building and site shall be disposed of so as to not adversely affect any properties adjoining the site or the stability of any building on the site. Stormwater shall not be disposed of over a crossing place.

NOTES PERTAINING TO DEVELOPMENT PLAN CONSENT:

- The applicant is reminded of the requirements of the Fences Act 1975. Should the proposed works require the removal, alteration or repair of an existing boundary fence or the erection of a new boundary fence, a 'Notice of Intention' must be served to adjoining owners. Please contact the Legal Services Commission for further advice on 1300 366 424 or refer to their web site at www.lsc.sa.gov.au.
- It is recommended that as the applicant is undertaking work on or near the boundary, the applicant should ensure that the boundaries are clearly defined, by a Licensed Surveyor, prior to the commencement of any building work.

List of Attachments		Supplied By:
A	Application Documents	Applicant
B	Representations	Administration
C	Response to Representations	Applicant

ATTACHMENT A



LOT 10 HEASLIP ROAD
BURTON SA 5110
P: 82806000
F: 82805689

REV A - 04/01/2021 - B.T
REV B - 08/01/2021 - B.T

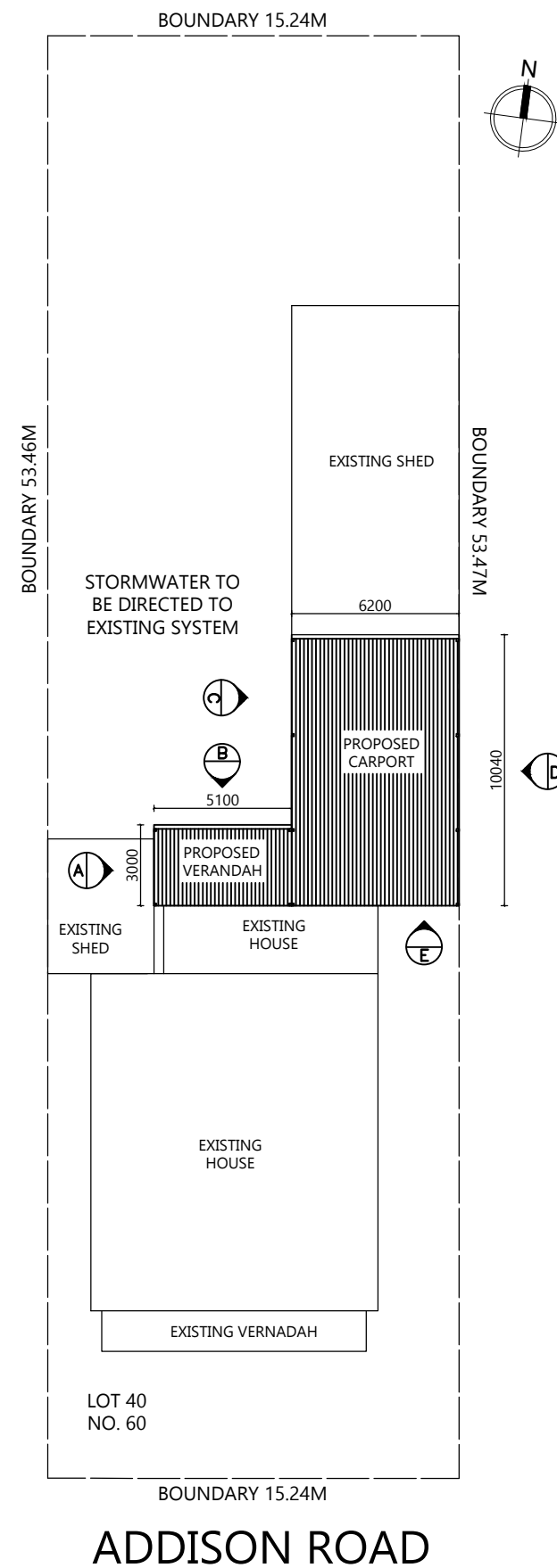
DESIGN DRAWINGS ONLY
FOR STRUCTURAL LAYOUTS,
DETAILS & ENGINEERING
SEE OTHERS. FOR
LANDSCAPING, CONTOURS
& EARTHWORKS SEE
OTHERS. ALL SITE ,
PROPOSED STRUCTURE
INFORMATION &
MEASUREMENTS PROVIDED
BY BUILDER AT DATE
SHOWN. SUBJECT TO
CONFIRMATION BY BUILDER
AND FINAL MEASURE ON
SITE PRIOR TO
CONSTRUCTION

CLIENT DETAILS:

ANDREW MARANTOS
60 ADDISON ROAD,
BLACK FOREST, SA

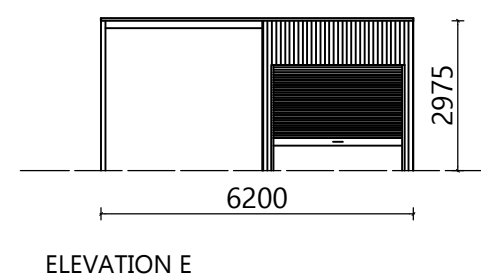
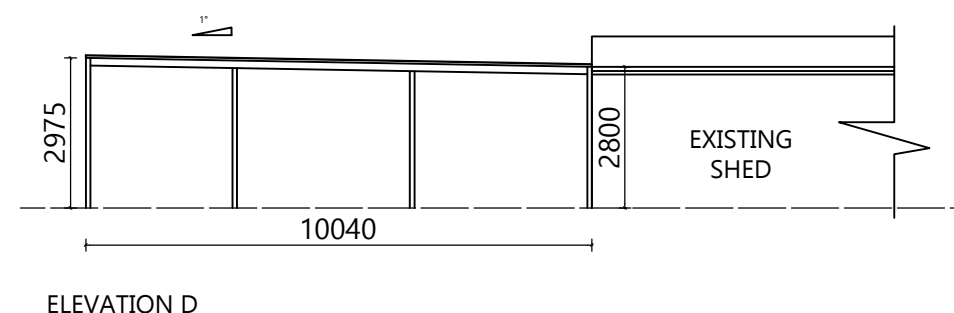
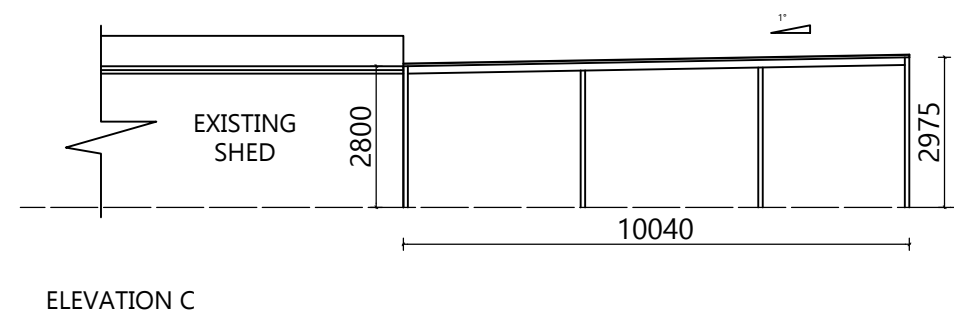
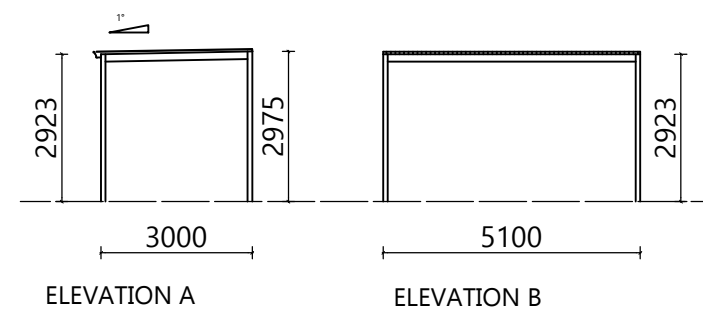
PROJECT DETAILS:
PROPOSED CARPORT AND VERANDAH

SHEET:	A3
REVISION:	B
DATE:	08/01/2021
SCALE:	1:250
DRAWN BY:	BRAYDEN THOMAS



NOTES:
PROPOSED CARPORT 6.2M WIDE X 10.040M LONG X 2.975M HIGH
ABUTTING EXISTING HOUSE & EXISTING SHED. BOX GUTTER BETWEEN SHED AND PROPOSED CARPORT
1 DEGREE PITCH
HI DEK ROOF CLADDING
1 X ROLLER DOOR (2650MM WIDE X 2100MM HIGH) WITH TRIMDEK CLADDING INFILL
COLOUR - TBA

PROPOSED CARPORT 3.0M WIDE X 5.1M LONG X 2.975M HIGH
ABUTTING EXISTING HOUSE
1 DEGREE PITCH
HI DEK ROOF CLADDING
COLOUR - TBA



LOT 10 HEASLIP ROAD
BURTON SA 5110
P: 82806000
F: 82805689

DESIGN DRAWINGS ONLY
FOR STRUCTURAL LAYOUTS,
DETAILS & ENGINEERING
SEE OTHERS. FOR
LANDSCAPING, CONTOURS
& EARTHWORKS SEE
OTHERS. ALL SITE ,
PROPOSED STRUCTURE
INFORMATION &
MEASUREMENTS PROVIDED
BY BUILDER AT DATE
SHOWN. SUBJECT TO
CONFIRMATION BY BUILDER
AND FINAL MEASURE ON
SITE PRIOR TO
CONSTRUCTION

CLIENT DETAILS:

ANDREW MARANTOS
60 ADDISON ROAD,
BLACK FOREST, SA

PROJECT DETAILS:
PROPOSED CARPORT AND VERANDAH

SHEET:	A3
REVISION:	A
DATE:	04/01/2021
SCALE:	1:150
DRAWN BY:	BRAYDEN THOMAS

ATTACHMENT B

REPRESENTATION Category 2 (Page 1)

CITY OF UNLEY

10 FEB 2021

REF:

To: Paul Weymouth, City of Unley Development Section

Please read these notes carefully:

1. Both pages **MUST** be completed in full and returned to the City of Unley by the closing date to be a valid representation.
2. This page (ie Page 1) will **NOT** be published on the internet.
3. Pages 1 and 2 (and any attachments) may be included as attachments in the hard copy of the Council Assessment Panel agenda.
4. Please note that in accordance with Section 38(8) of the Development Act 1993, a copy of this representation (Pages 1 and 2 and attachments) will be forwarded to the Applicant for consultation and response.

The **closing date** for Representations is **5pm on 10 February 2021**.

Application: 090/13/2021/C2 60 Addison Road, Black Forest 5035

Details of Person(s) making Representation:

Name:

Postal Address:

EMAIL ADDRESS:

Daytime Phone No.

Property affected
by Development

58 and 58A Addison Road, Blackforest SA 5035



(Signature)



09 February 2021

(Date)

10 FEB 2021

REPRESENTATION Category 2 (Page 2)

To: **Paul Weymouth, City of Unley Development Section**

1. This page (ie Page 2) and any attachments may be published on the internet and thus be able to be searched via Google and other internet search engines.
2. In accordance with Section 38(8) of the Development Act 1993, a copy of this representation (Pages 1 and 2 and any attachments) will be forwarded to the Applicant for consultation and response.

The **closing date** for Representations is **5pm on 10 February 2021**.

Application:	090/13/2021/C2 60 Addison Road, Black Forest 5035
Property affected by Development	58 and 58A Addison Road, Blackforest SA 5035

☐ I support the proposed development.

OR (Tick one only)

☒ I object to the proposed development because:

(Please state your reasons so that each planning issue can be clearly identified. Attach extra pages if you wish)

Reasons for this objection are listed in the attached document (two pages).

My concerns (if any) could be overcome by: _____

Further detail in the form of product specifications, or reports are also listed in the above mentioned document.

☒ **WISH TO BE HEARD**

☐ **DO NOT WISH TO BE HEARD**

by the Council Assessment Panel

(Tick one box only. If you do not tick either box it will be assumed that you do not wish to be heard by the Council Assessment Panel.)

REPRESENTATION Category 2 (Page 2 cont.)

To: Paul Weymouth, City of Unley Development Team

Re: Application 090/13/2021/C2, 60 Addison Road, Black Forest SA 5035

Property affected by the Development: 58 Addison Road, Black Forest SA 5035

As neighbours to the applicant, and the owner of 58 and 58A Addison Road, I would like to raise concerns regarding the proposed carport and verandah as currently shown in the plans that have been submitted to council. The following points are made from both a personal perspective and also with consideration for the aesthetics, character and attractiveness of the street.

1. In the first instance, objection is made to any additional construction on the boundary of 58 and 60 Addison Road. In 2006, Building Consent was granted for construction of a garage on this same boundary (application number 143/2006/C1).

The existing garage stands more than three meters high and 12 meters long. It imposes on the adjacent garden areas and has blocked all natural sunlight. Use of the area has been significantly compromised, and it is an unreasonable request to now add a carport extension of 10 meters that could remove all remaining natural light to our rear entertaining area and internal living area that has been designed with full height glazed panels and glazed doors to allow light and warmth to enter the home.

2. The application is not compliant with the City of Unley Development Plan (15 October 2020) for Residential Zone B350.

The Development Plan is established in accordance with legislative framework, and regulations that relate to the overall State Planning Strategy. The objectives and principles of development control applicable to Residential Zone B350 are fostered to retain the character and maintain attractive original streetscapes.

As such, the following objections are made:

2.1. Roof Form

The roof form does not integrate with the pitched roof design of outbuildings to surrounding properties, or "reflect the character and improve the amenity of the immediate area in which it is proposed" as stated in the Plan.

2.2. Materials

The proposed square fluted steel roof and cladding is not consistent with the type of building materials used by surrounding properties. Other residents, (myself included) have built carports and garages at a greater cost using materials such as bricks and timber in order to ensure that the character and levels of amenity are substantially maintained.

2.3. Setback

The proposal is for construction of a verandah on the common boundary. In accordance with the "Conditions, for Carports and Verandahs Attached to a Dwelling (TABLE Un/1 Conditions Applying to Complying Development)" a carport must be located no closer than 600 millimetres to a side boundary.

2.4. Site Coverage

Site coverage and floor space ratio exceeds the limits outlined in the conditions. Whilst being proposed as a carport and verandah, the development is one structure that has a total area of approx. 70m². It is proposed to adjoin the existing garage which is also over 70m² in area.

If the proposed development was to be approved, the total area of the outbuilding (consisting of garage, carport and verandah) will result in almost 100% coverage of total floor space to the dwelling. Domestic outbuildings including garages and carports must not exceed 50% of total ground floor space of a building in accordance with the Development Plan.

2.5. Dimensions

The proposed development exceeds the size and height parameters specified in the Development Plan for domestic outbuildings including garages and carports for this Policy Area. The total floor area for domestic outbuildings including garages and carports should not exceed 40m² for sites in excess of 400 square meters and walls should not exceed 7 metres in length.

Whilst this is currently depicted as a carport with open sides, there is nothing to stop the applicant from installing screens after the construction has been completed. As stated earlier, as this is an extension to the existing 12 meter garage, there is already an issue with compliance in both the length and floor area.

3. If the applicant wishes to revise the proposed development, with consideration for the points that have been made above, I request the following:
 - 3.1. A solar shadow analysis to be conducted to determine the position of where shadows will be cast to ensure that there is no further loss of sunlight into the adjacent garden and house.
 - 3.2. Acoustic specifications and installation methodology for the roof cladding to ensure that excessive noise is not experienced during rainfall.
 - 3.3. Thermal specification for all materials to ensure the adjacent garden and house do not experience glare and heat absorption.
 - 3.4. Colour selection to be nominated at the time of application.
 - 3.5. A surveyor be engaged to determine the correct boundary line and the new structure to be built in the appropriate and correct position. The existing garage was not constructed in line with the boundary and is on a crooked angle, this has created an awkward shape and look on the other side.
 - 3.6. Depending on the overall size of the structure, a stormwater plan may be required to determine adequate gutters and downpipes for drainage.

The concerns and requests made here today are standard considerations that should be made on every construction project in order to achieve successful long-term outcomes. To rectify issues resulting from poor planning can be a difficult and costly exercise that in most cases will outweigh the initial cost savings made from using budget materials.

I believe it to be the responsibility of the Development Team to deny applications such as this, as very little information has been provided and the project appears to be based on a low budget build using cheap materials. Developments in this area should improve the neighbourhood and protect the value of our homes.

I am happy to discuss any of these items in more detail or elaborate on the objections made if you would like more information.

Yours sincerely,



ATTACHMENT C

6 April, 2021

Development Officer
City of Unley

Re: Development Application 090/13/2021/C2 60 Addison Road, Black Forest 5035

I write in reference to the application made by Bargain Steel Centre on behalf of the owners of 60 Addison Road, Black Forest for the construction of a carport/veranda and provide the following additional information to support the application.

Carport/Veranda

- There is currently no carport at the property.
- The owners wish to construct a carport to be able to park their cars undercover on the property and walk to their back door with their shopping etc., completely undercover.
- There is currently limited street parking directly in front of the property due to its close proximity to Black Forest Primary School, businesses on South Road and the higher demand for street parking due to the infill development of other properties in the street.
- The addition of the carport will alleviate the need to park on the street by creating additional off street parking on the property.
- The existing veranda at the back of the house will be removed and replaced with the proposed new carport/veranda.
- The proposed veranda is required to shield against the sun as the back of the house is exposed to a lot of sunlight and also to protect it from the weather and rain entering the property.

Roller Door and opening height

- It is proposed that a motorised roller door be installed at the front of the carport on the driveway side for ease of entering and being able to drive through without the owners having to exit their vehicle as well as for added security. Note the applicants are both elderly.
- The opening height of the proposed carport roller door opening is **XXXXXX** to match the height of the existing garage roller door opening. This is to enable for a boat or caravan to be able to be driven through and stored in the existing garage.
- The proposed height of the carport is sought to remain at **XXXXXX** as per the plans lodged in order to facilitate the opening height required for the carport and to tie into the height levels of the back of the house and existing garage.

Construction Materials

- The carport is proposed to be constructed as a flat roof carport/veranda from quality colourbond materials with colour selections to be made by the owners.

I trust the above additional information satisfies your key areas requiring clarification. Please do not hesitate to contact me if you require any further information.

Kind regards,

Nicky Tsokkos (Owners Daughter)

ITEM 4**DEVELOPMENT APPLICATION – 090/810/2017/C2/A – 5 ARUNDEL AVENUE, MILLSWOOD 5034 (CLARENCE PARK)**

DEVELOPMENT APPLICATION NUMBER:	090/810/2017/C2/A
ADDRESS:	5 Arundel Avenue, Millswood 5034
DATE OF MEETING:	18 May 2021
AUTHOR:	Mark Troncone
DEVELOPMENT PROPOSAL:	Variation to 810/2017/C2 - Remove second storey from studio (now single storey and on boundary); relocate shed (forward of dwelling and on western boundary); erect front fence
HERITAGE VALUE:	Contributory
DEVELOPMENT PLAN:	4 July 2017
ZONE:	CONSERVATION ZONE AREA 4
APPLICANT:	Steve Layton Design
OWNER:	B H Fogden and M L Fogden
APPLICATION TYPE:	Merit
PUBLIC NOTIFICATION:	Category 2
REPRESENTATIONS RECEIVED:	YES – (One oppose and one support)
CAP'S CONSIDERATION IS REQUIRED DUE TO:	Unresolved representations
RECOMMENDATION:	Approval
KEY PLANNING ISSUES:	Building bulk / mass Wall on boundary

1. PLANNING BACKGROUND

Development Application	
DA 810/2017/C2 Approved July 2017	Remove existing shed and carport, carry out alterations, construct addition, carport, verandah and two storey habitable outbuilding to common boundaries.

2. DESCRIPTION OF PROPOSAL

The application is a variation to DA 810/2017/C2. The variation proposes the following:

- Removal of the second storey from the studio;
- Proposed shed along the western boundary forward of the dwelling; and
- Proposed 1.2-1.8m from fence.

Other minor changes include the reduced size of the:

- Verandah adjacent the studio
- Deck at the rear of the dwelling; and
- Alfresco.

A new verandah has also been proposed at the rear of the dwelling.

3. SITE DESCRIPTION

The subject site is located within the Residential Historic Conservation Zone, Policy Area 4.

The site is located on the southern side of Arundel Avenue and the western boundary of the site directly abuts the train line. The site has a large frontage (30.43m) and the side boundaries narrow into a point at the rear, forming a triangular shape as demonstrated in the locality plan below.

The site has an approximate land size of 660m² and is currently occupied by a single storey detached dwelling (Contributory Item) with associated carport and outbuilding.

Existing vehicle access is located approximately 15m from the eastern boundary.

No Regulated Trees have been identified on the subject land or within close proximity of the proposed development.

4. LOCALITY PLAN



Subject Site



Locality



Representations

5. LOCALITY DESCRIPTION

Land Use

The predominant land use within the locality is residential (with the exception of the Millswood Croquet Club located on the western side of the train lines).

Settlement Pattern/Dwelling Type

Allotment sizes in the immediate locality vary in shape and size, however, predominantly accommodate single storey detached dwellings (bungalow).

Fencing Styles

Front fencing within the immediate locality is varied and examples of low and open styles, high solid brush fencing, and high transparent fencing such as pier and plinth are common.

6. STATUTORY REFERRALS

No statutory referrals required.

7. NON-STATUTORY (INTERNAL) REFERRALS

The application was referred to Council's Heritage Architect (Attachment D)

8. PUBLIC NOTIFICATION

Category 2 notification was undertaken in accordance with Table Un/8 of the Unley Development Plan. During the ten (10) business day notification period two (2) representations were received, one (1) in support and (1) objection as detailed below.

3 Arundel Avenue Millswood (oppose)	
ISSUES RAISED	APPLICANTS RESPONSE
Acknowledgement of the height of the proposed studio being reduced	
Additional visual amenity caused by the 12m long x 3m high studio wall on the common boundary.	<ul style="list-style-type: none">• The studio wall on the shared boundary of 3 Arundel Avenue will be 3 metres from the finished floor level (FFL) of the studio• The FFL of the studio will be the same as the FFL of the dwelling• The wall cladding will be 'Monument' in colour as selected by the representor
No information provided regarding the replacement of the existing fence. *Reaching an agreement on the cost of the fence	<ul style="list-style-type: none">• A new fence will be provided by the applicant.• The fence will be erected from northern wall of the proposed studio to an approximate point level with the rear of the dwelling 3 Arundel Avenue• A good neighbour fence will be erected in a Colorbond 'Monument' colour as selected by the representor• The fence will have a lattice top panel.
*Property be secured during construction	<ul style="list-style-type: none">• The applicant agrees to insert a condition in the final building

	<p>work specification that the security of 3 Arundel Avenue property is to be maintained while work is being done on the boundary.</p> <ul style="list-style-type: none"> This includes the prevention of personnel entering from the railway easement.
*Any damage to garden is made good	<ul style="list-style-type: none"> The applicant agrees maintain a high level of care when working from within the property of 3 Arundel Avenue and any damage to the garden will be rectified by the applicant to the satisfaction of the representor.
18 Millswood Crescent, Millswood (support)	
ISSUES RAISED	APPLICANTS RESPONSE
-	

(* denotes non-valid planning considerations)

9. DEVELOPMENT DATA

Site Characteristics		Development Plan Provision
Total Site Area	660m ²	900m ²
Frontage	30.43m	23m
Depth	59m	N/A
Building Characteristics (All Development)		
Site Coverage		
Roofed Buildings	56% (23.8% proposed structures)	<input type="checkbox"/> 50% of site area (Minor)
Total Impervious Areas	<70%	<input type="checkbox"/> 70% of site <input type="checkbox"/>
Outbuilding (Studio)		
Wall Height	3.06m	<input type="checkbox"/> 3m (Minor)
Total Height	3.06m	<input type="checkbox"/> 5m
Total Floor Area	Approx. 84m ² (12.7%)	80m² or 10% of the site, whichever is the lesser (Minor)
Setbacks		
Ground Floor		
Front boundary (N)	>30m (behind dwelling)	At least 1.0 metres further than the setback of the associated dwelling
Side boundary (E)	0m	600mm off the boundary or on the boundary
Side boundary (W)	0m	600mm off the boundary or on the boundary

Rear Boundary	-	-
Wall on Boundary		
Location	Eastern and Western	
Length	Approx.14.2m (25.8%) (W) Approx.11.9m (25.8%) (E)	8m or 50%of the boundary length, whichever is the lesser
Outbuilding (Shed – Forward of Dwelling)		
Wall Height	2.4m	□3m
Total Height	2.4m	□5m
Total Floor Area	Approx. 27m ² (4.0%)	80m ² or 10% of the site, whichever is the lesser
Setbacks		
Ground Floor		
Front boundary (N)	4.11m (Approx. 3.4m forward of dwelling)	At least 1.0 metres further than the setback of the associated dwelling
Side boundary (E)	0m	600mm off the boundary or on the boundary
Side boundary (W)	>23m	600mm off the boundary or on the boundary
Rear Boundary	-	-
Wall on Boundary		
Location	Western	
Length	Approx. 11.2m (20%)	8m or 50% of the boundary length, whichever is the lesser
Outbuilding (Shed – Rear of Carport)		
Wall Height	2.4m	□3m
Total Height	2.4m	□5m
Total Floor Area	Approx. 27m ² (4.0%)	80m ² or 10% of the site, whichever is the lesser
Setbacks		
Ground Floor		
Front boundary (N)	>13m (Behind dwelling)	At least 1.0 metres further than the setback of the associated dwelling
Side boundary (E)	0m	600mm off the boundary or on the boundary
Side boundary (W)	>20m	600mm off the boundary or on the boundary
Rear Boundary	-	-
Wall on Boundary		
Location	W	
Length	3.5m (6.4%)	□8m or □50%□ of the boundary length, whichever is the lesser
Private Open Space		
Min Dimension	□4m minimum	□4m minimum

Total Area	□20% OR 35m ² OR 20m ²	□20% OR 35m ² OR 20m ²
Car parking and Access		
On-site Car Parking	3 (2 covered)	2 per dwelling where less than 4 bedrooms or 250m ² floor area 3 per dwelling where 4 bedrooms or more or floor area 250m ² or more
Covered on-site parking	2	□1 car parking space □2 car-parking spaces
Driveway Width	5m (min)	3m Single 5m double
Garage/ Carport Width	6.6m (21.5%)	□6.5m or □30% of site width, whichever is the lesser
Garage/ Carport Internal Dimensions	6.6m x 6m	Minimum internal dimensions 5.8m x 6m for two vehicles
Fence		
Fence height	1.2m – 1.8m (Slat fence 90mm x 22mm) with 30mm gap	On sites in excess of 16m in width - Low and essentially open-style fencing (including picket or crimped wire or decorative mesh, with or without hedging) but may also include a masonry pier and plinth (palisade style) fence with wide decorative open sections of up to 1.8 metres in total height.
Colours and Materials		
Outbuilding	Colorbond Orb - Monument & Dulux Domino (Colour)	-
Shed (Forward of Dwelling & Rear of carport)	Europlus interlocking panel - Dulux Domino (Colour)	-
Carport	Custom Orb Cladding - Heritage Galv roofing	-
Fencing	Slated Fence - Timber Pickets 30mm	-

(items in **BOLD** do not satisfy the relevant Principle of Development Control)

10. ASSESSMENT

Zone Desired Character and Principles of Development Control

Residential Historic (Conservation Zone), Policy Area 4
<p><i>Objective 1:</i> <i>Conservation and enhancement of the heritage values and desired character described in the respective policy areas, exhibited in the pattern of settlement and</i></p>

streetscapes of largely intact original built fabric.

Objective 2:

A residential zone for dwellings primarily in street-fronting format, together with the use of existing buildings and sites used for non-residential purposes for small-scale local businesses and community facilities supporting an appealing, pleasant and convenient living environment.

Objective 3:

Retention, conservation and enhancement of contributory items, and the complementary replacement or redevelopment of non-contributory buildings

Desired Character

The spacious streetscape character is created by the large front gardens and wide tree-lined streets. This estate exhibits a basic grid street layout around the central recreation feature of Goodwood Oval, but with long curvilinear and some truncated streets around the bisecting train lines laid in the 1870's. The extensive, intact, collection of contributory items, of primarily distinctive Inter-War bungalow, art deco, tudor and complementary latter styles contribute to the desired character.

Assessment

The proposed development retains the existing Contributory Item and proposes domestic-scaled structures and outbuildings.

Whilst I note that the proposed shed will be sited 3.4 metres forward of the dwelling, it is considered that the shed will be relatively inconspicuous as viewed within the locality given relatively small height (2.4 metres), its siting along the western boundary adjacent the railway and the location of the subject land at the apex of Arundel Avenue. It is also considered that the sheds location adjacent the railway will not impact upon the spatial rhythm of dwellings as viewed from the street given there is no immediately adjacent dwelling to the west. The shed has been designed so as to not impact upon the characteristic elements of the dwelling and is therefore considered acceptable in this instance.

The proposed carport will increase in width (from 6.2 to 6.6 metres) and in height (from 4 to 4.1 metres). These increases are considered to be relatively minor will not materially affect the visual appearance of the dwelling anymore than the approved. The carport demonstrates a roof form, height and materials that are complementary to the character of the bungalow.

The proposed development is considered to appropriately satisfy the relevant Residential Historic Conservation Zone Objectives and Desired Character (in particular PDC 3, 4, 9 and 13).

Relevant Council Wide Objectives and Principles of Development Control

An assessment has been undertaken against the following Council Wide Provisions:

City-wide Objectives and Principles of Development Control		
Residential Development	<i>Objectives</i>	1, 2, 3, 4, 5
	<i>PDCs</i>	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62

The following table includes the Council-wide provisions that warrant further discussion in regards to the proposed outbuilding and the shed (forward of dwelling).

Shed (Forward of Dwelling)

Relevant Council Wide Provision	Assessment
8 A garage, carport or outbuilding should be setback from the primary street frontage: (a) at least 1.0 metres further than the setback of the associated dwelling; (b) no closer than the front alignment of walls of the associated dwelling if the dwelling incorporates street facing attached verandahs, porticos and similar structures;	<p>The proposed shed will be located approx. 3.4 metres forward of the dwelling.</p> <p>As discussed above, it is considered that the shed will be relatively inconspicuous as viewed within the locality given the total height of the shed (2.4 metres), its siting along the western boundary adjacent the railway and the location of the subject land at the apex of Arundel Avenue.</p> <p>Given the above, it is considered the shed is acceptable in this instance.</p>

Outbuilding

Relevant Council Wide Provision	Assessment
30 Outbuildings and like structures should be sited and designed to be ancillary to the dwelling and not visually dominate the locality by having: (a) a maximum wall height of 3 metres and roof height of 5 metres (b) a maximum wall length of 8 metres for solid walls and 12 metres for open-sided structures (including all other boundary walls) or no longer than 50 percent of the	<p>The proposed outbuilding (studio) will be located along the western and eastern boundaries for approx. 14.2 and 11.9 metres respectively.</p> <p>It is important to note that both walls equate to approximately 26% of the total allotment boundary length and therefore comply with PDC 30 of the Residential Development section.</p>

<p>boundary length behind the front face of the dwelling, whichever is the lesser amount;</p> <p>(c) a total floor area not exceeding 80 square metres or 10 percent of the site, whichever is the lesser amount.</p>	<p>The siting of the wall along the western boundary or approx. 14.2 metres is considered to be acceptable given the length of the approved wall (approx. 13.7 metres) and the reduced height of the outbuilding (from approx. 6 to 3 metres). Given the above, it is therefore my opinion that the wall will have less of an impact to that of the approved wall.</p> <p>The siting of the wall along the eastern boundary for approximately 11.9 metres is considered to be acceptable given the reduced height of the outbuilding (from approx. 6 to 3 metres). Although the outbuilding will now be located on the boundary (previously 0.6 metres), it is considered that the reduced height will result in the outbuilding having less of an impact on the neighbouring property than the previously approved.</p>
---	--

11. CONCLUSION

In summary, the application is not considered to be seriously at variance with the Development Plan and is considered to satisfy the provisions of the Development Plan for the following reasons:

- The proposed development is not at variance with the related Residential Historic Conservation Zone Objectives and Principles of Development Control; and
- The proposed development does not significantly detract from the visual appearance of the site as viewed from neighbouring properties, and does not visually dominate the locality;

The application is therefore recommended for Development Plan CONSENT.

12. RECOMMENDATION

MOVED:

SECONDED:

That Development Application 090/810/2017/C2/A at 5 Arundel Avenue, Millswood 5034 for 'Variation to 810/2017/C2 - Remove second storey from studio (now single storey and on boundary); relocate shed (forward of dwelling and on western boundary); erect front fence' is not seriously at variance with the provisions of the City of Unley Development Plan and should be GRANTED Planning Consent subject to the following conditions:

DEVELOPMENT PLAN CONSENT DETAILS OF DECISION:

1. The Development herein approved shall be undertaken in accordance with all plans, drawings, specifications and other documents submitted to Council and forming part of the relevant Development Application except where varied by conditions set out below (if any) and the development shall be undertaken to the satisfaction of Council.
2. The conditions, where pertinent, of the Planning Consent Development Application in respect to the original overall development shall be complied with to the reasonable satisfaction of Council at all times.
3. All stormwater from the building and site shall be disposed of so as to not adversely affect any properties adjoining the site or the stability of any building on the site. Stormwater shall not be disposed of over a crossing place.

NOTES PERTAINING TO DEVELOPMENT PLAN CONSENT:

- It is recommended that as the applicant is undertaking work on or near the boundary, the applicant should ensure that the boundaries are clearly defined, by a Licensed Surveyor, prior to the commencement of any building work.
- The applicant is reminded of the requirements of the Fences Act 1975. Should the proposed works require the removal, alteration or repair of an existing boundary fence or the erection of a new boundary fence, a 'Notice of Intention' must be served to adjoining owners. Please contact the Legal Services Commission for further advice on 1300 366 424 or refer to their web site at www.lsc.sa.gov.au.
- The construction of the crossing place(s)/alteration to existing crossing places shall be carried out in accordance with any requirements and to the satisfaction of Council at full cost to the applicant.
- That any necessary alterations to existing public infrastructure (stobie poles, lighting, traffic signs and the like) shall be carried out in accordance with any requirements and to the satisfaction of the relevant service providers.
- That any damage to the road reserve, including road, footpaths, public infrastructure, kerb and guttering, street trees and the like shall be repaired by Council at full cost to the **applicant**.

List of Attachments		Supplied By:
A	Application Documents	Applicant
B	Representations	Administration
C	Response to Representations	Applicant
D	Consultant Architect Referral Comments	Administration

ATTACHMENT A

GENERAL NOTES:

1. DRAWINGS SHOULD BE READ IN CONJUNCTION WITH ENGINEERS REPORT.
2. WRITTEN DIMENSIONS WILL TAKE PRIORITY OVER SCALED MEASUREMENTS. DIMENSIONS SHOULD BE VERIFIED ON SITE BY BUILDER OR CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK.
3. ALL WORKS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA.
4. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH SA WORK AND SAFETY ACT, REGULATIONS AND CODES OF PRACTICE 2012.
5. ALL TIMBER WALL AND ROOFING MEMBERS TO COMPLY WITH THE NATIONAL TIMBER FRAMING CODE AS-1684.2
6. ALL WET AREAS TO COMPLY WITH BCA 3.8.1 AND AS3740-2010
7. IT WILL BE THE RESPONSIBILITY OF THE ROOFER TO ENSURE THAT THE WHOLE OF THE ROOF IS WATERTIGHT.
8. ALL FIXTURE AND APPLIANCES TO BE INSTALLED STRICTLY IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS.
9. ALL STORMWATER SHOULD COMPLY WITH AS- 3500.2 NATIONAL PLUMBING CODE. 90dia UPVC STORMWATER SYSTEM TO BE CONECTED TO DOWNPIPES AND DISCHARGED TO APPROVED COUNCIL OUTLETS.
10. WIND SPEED AREA N1 28m/s. ALL WINDOWS AND DOORS TO COMPLY WITH AS 2047- WINDOWS AND DOORS IN BUILDING TO MEET N1 WIND SPEED REQUIREMENTS. ALL GLAZING TO COMPLY WITH AS1288 AND NCC PART 3.6.
11. DRAUGHT PROTECTION DEVICES TO BE FITTED TO EDGES OF EXTERNAL DOORS.
12. (S) SELF CONTAINED HARD WIRED SMOKE ALARM COMPLYING WITH AS3786 CONNECTED TO CONSUMER MAINS WITH BATTERY BACK UP. SMOKE ALARMS TO BE INTERCONNECTED COMPLYING WITH BCA 2014.
13. EFFLUENT TO DISCHARGE TO SA WATER SEWER NETWORK IN ACCORDANCE WITH S.A. HEALTH COMMISSION & COUNCIL REQUIREMENTS.
14. NO BRUSH FENCES ARE TO BE WITHIN 3m OF THE BUILDING WORKS.
15. ALL ELECTRICAL WORKS SHALL COMPLY WITH AS 3000. ELECTRICAL REQUIREMENTS & LAYOUT TO BE DISCUSSED & CONFIRMED ON SITE WITH OWNER.
16. ALL EXPOSED STEELWORK, LINTELS ETC. SHALL BE HOT DIPPED GALVANISED. ALL BOLTS, NUTS AND WASHERS SHALL BE HOT DIPPED GALVANISED. ALL NAILS SHALL BE GALVANISED.

INSULATION:

ROOFING: R4.1 INSULATION TO CEILING WITH SARKING OVER ROOF PURLINS
WALLS: R2.5 WALL BATT INSULATION TO EXTERNAL WALLS WITH WEATHER PROOF BARRIER UNLESS NOTED OTHERWISE.
R2 INSULATION TO INTERNAL WALLS UNLESS NOTED OTHERWISE.

TERMITE TREATMENT:

PROVIDE A TERMITE PROTECTION BARRIER TO AS3660.1 AND INSTALLED TO MANUFACTURER'S SPECIFICATIONS

PLUMBED RAINWATER TANK:

A 1000 lt (MIN) TANK IS TO BE INSTALLED AND PLUMBED TO THE A TOILET, WASHING MACHINE OR LAUNDRY COLD WATER.

- CATCHMENT AREA TO BE NO LESS THAN 50m2 AS SHOWN.
- OVERFLOW FROM TANK TO BE PLUMBED TO APPROVED EXISTING STORMWATER OUTLET.
- INLET AND OVERFLOW TO BE FITTED WITH MOSQUITO PROOF NON-DEGRADABLE SCREENS.
- APPROPRIATE SUPPORT STRUCTURE FOR TANK TO BE PROVIDED.
- PLUMBING FOR TANK TO COMPLY WITH AS/NZS 3500:2003 (SECTION 14)

AREAS:

EXISTING LIVING:	154m2
EXISTING VERANDAH:	22m2
EXISTING CARPORT:	23m2
PROPOSED STUDIO:	50m2
PROPOSED ALFRESCO:	24m2
PROPOSED CARPORT ADDITION:	22m2
PROPOSED SHED:	35m2
PROPOSED VERANDAHS:	16m2

TOTAL: 449m2

ALLOTMENT AREA: 700m2

**AMENDED PLAN / DOCUMENT
DATE: 29/04/2021**

LEGEND/NOTES

- DP(E) EXISTING DOWNPIPE
- DP DOWNPIPE
- 90 DIA. PVC SEALED UNDERGROUND STORMWATER PIPE

FFL xxx.xx DENOTES EXISTING DESIGN LEVELS
FFL [xxx.xx] DENOTES NEW DESIGN LEVELS

ALL FINISHED LEVELS TO BE CONFIRMED ON SITE BY OWNER AND BUILDER

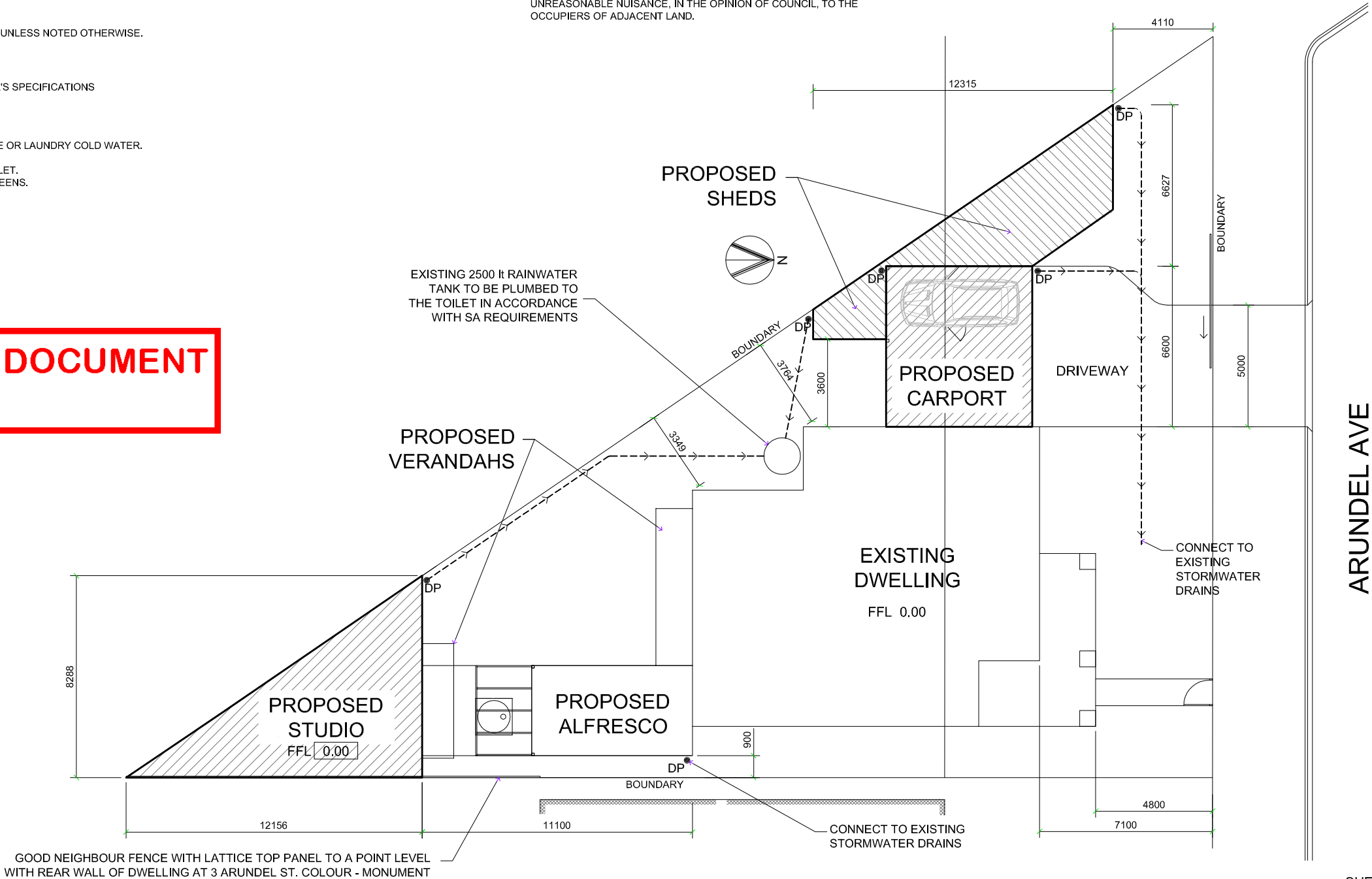
 PROPOSED AREA OF DEVELOPMENT

REFER TO CERTIFICATE OF TITLE FOR DETAILS REGARDING BOUNDARY DIMENSIONS, ENCUMBRANCES AND EASEMENTS.

CONSTRUCTION NOTES:

DURING CONSTRUCTION AND AT ALL TIMES THEREAFTER, STORMWATER GENERATED FROM THE DEVELOPMENT SHALL BE DIVERTED AWAY FROM ALL BUILDINGS, SHALL NOT POND AGAINST OR NEAR THE FOOTINGS, AND SHALL NOT BE DISCHARGED ONTO ADJOINING LAND.

DURING CONSTRUCTION EFFECTIVE MEASURES MUST BE IMPLIMENTED TO :
- PREVENT SILT RUN OFF FROM THE LAND TO ADJOINING PROPERTIES ROADS AND DRAINS.
- CONTROL DUST ARISING FROM THE CONSTRUCTION AND OTHER ACTIVITIES, SO AS NOT TO, IN THE OPINION OF COUNCIL, BE A NUISANCE TO RESIDENTS OR OCCUPIERS ON ADJACENT OR NEARBY LAND.
- ENSURE THAT SOIL OR MUD IS NOT TRANSFERRED ONTO THE ADJACENT ROADWORKS BY VEHICLES LEAVING THE SITE.
- ENSURE THAT ALL LITTER AND BUILDING WASTE IS CONTAINED ON THE SUBJECT SITE IN A SUITABLE COVERED BIN OR ENCLOSURE.
- ENSURE NO SOUND IS EMITTED FROM ANY DEVICE, PLANT OR EQUIPMENT OR FROM ANY SOURCE OR ACTIVITY TO BECOME AN UNREASONABLE NUISANCE, IN THE OPINION OF COUNCIL, TO THE OCCUPIERS OF ADJACENT LAND.



SHEET 1 OF 6

PROJECT: Addition to Existing Dwelling
CLIENT: Brooke and Michelle Fogden
SITE ADDRESS: 5 Arundel Ave Millswood SA 5034

SITE PLAN

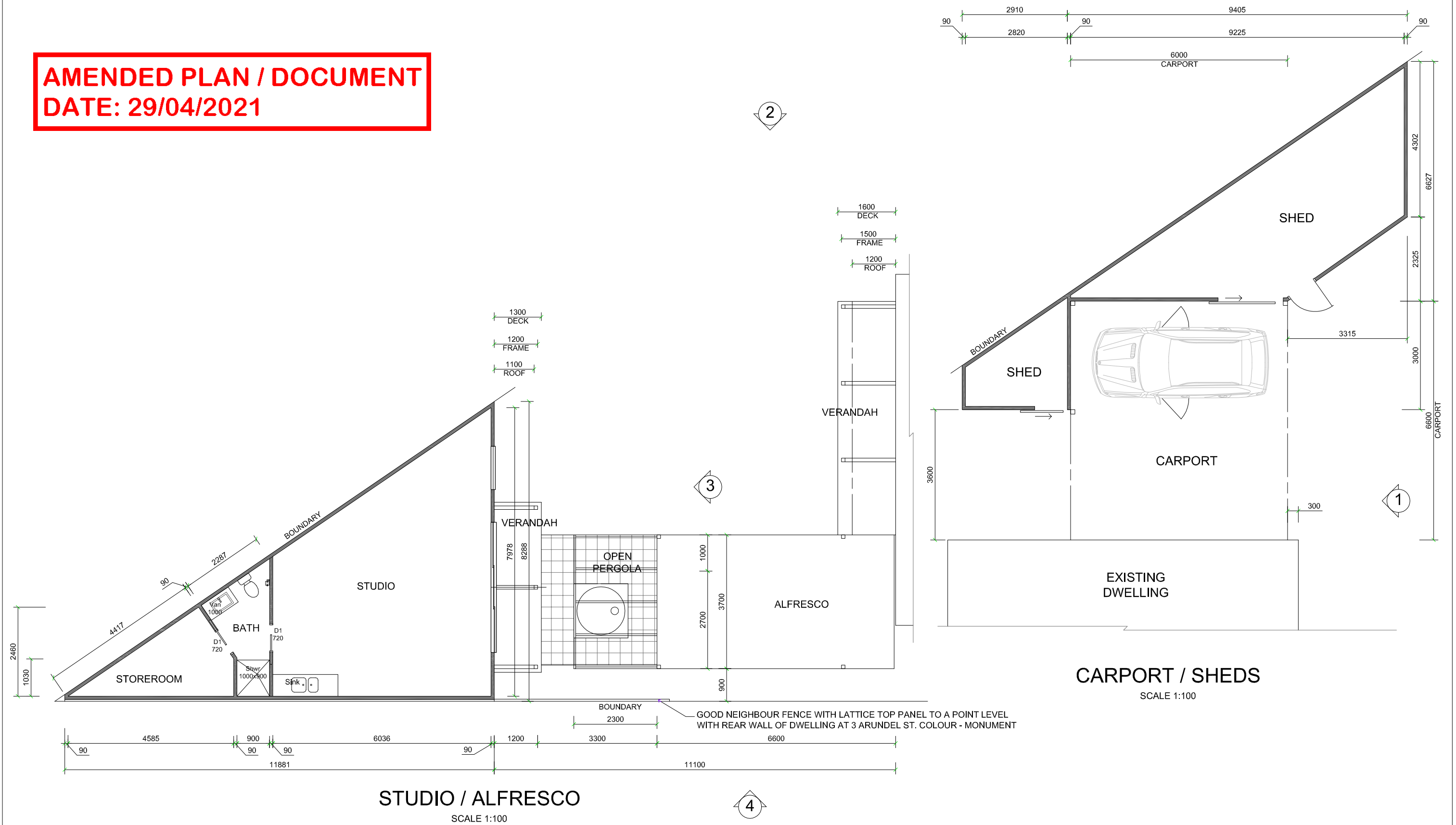
SCALE: 1:200 UNO
DRAWN BY: S.LAYTON
DATE: 15Jun2017


Rev.	Remarks	Date
A	Re-Issued for Planning Approval	29AUG20

steve
laytondesign

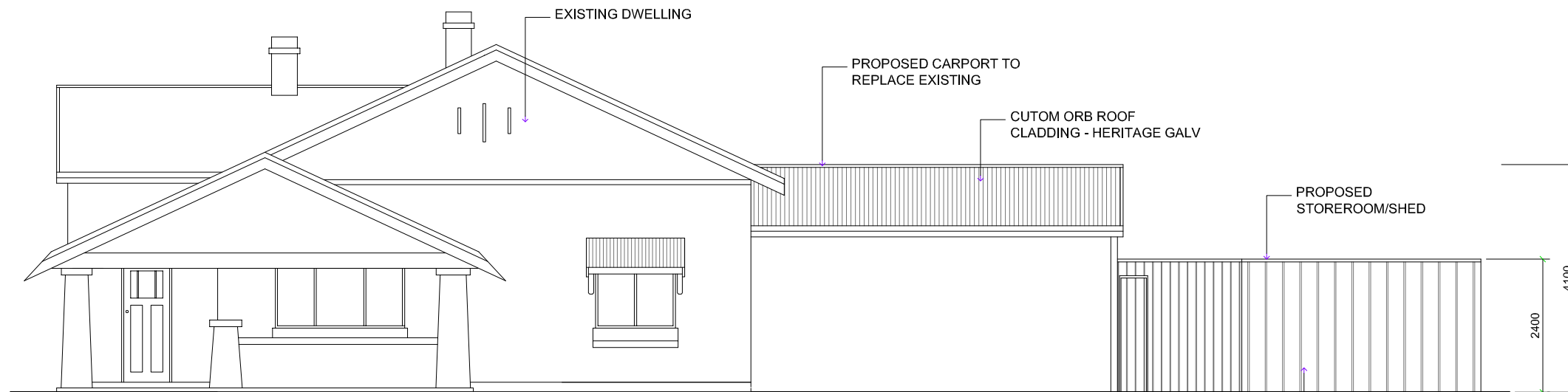
10 WIGLEY DRIVE
McLAREN VALE
Mob: 0448 656 254
Email: stevelaytondesign@bigpond.com
ABN: 40 248 246 245

AMENDED PLAN / DOCUMENT
DATE: 29/04/2021



PROJECT: Addition to Existing Dwelling CLIENT: Brooke and Michelle Fogden SITE ADDRESS: 5 Arundel Ave Millswood SA 5034	FLOOR PLAN		Rev.	Remarks	Date			
			A	Re-Issued for Planning Approval	29AUG20			
	SCALE: 1:100 UNO							
	DRAWN BY: S.LAYTON							
	DATE: 15Jun2017							
						10 WIGLEY DRIVE McLAREN VALE Mob: 0448 656 254 Email: stevelaytondesign@bigpond.com ABN: 40 248 246 245		

SHEET 2 OF 6

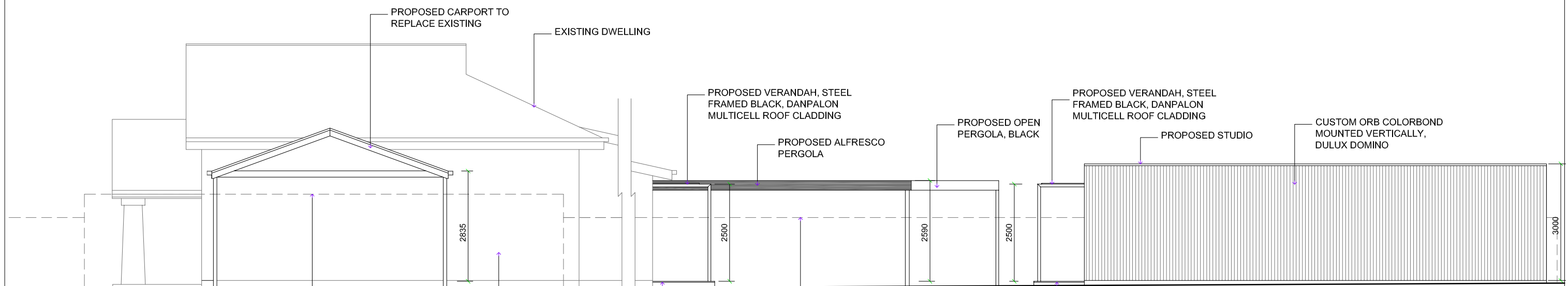


ELEVATION 1

SCALE 1:100

EXTERIOR COLOUR SCHEDULE	
ROOF	HERITAGE GALVANISED CUSTOM ORB ROOFING
GUTTERS	DOMINO or MONUMENT - TO MATCH EXISTING
FASCIAS	DOMINO or MONUMENT - TO MATCH EXISTING
WALLS	DOMINO or MONUMENT - TO MATCH EXISTING FENCE
WINDOW AND DOOR FRAMES	BLACK
WINDOW AND DOOR FRAMES	BLACK

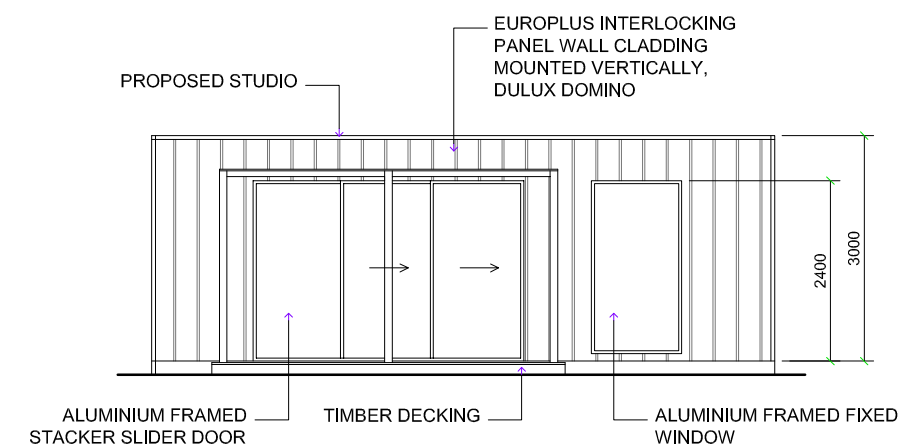
NOTE: ALL COLOURS TO BE CONFIRMED WITH OWNER PRIOR TO PROCUREMENT.



ELEVATION 2

SCALE 1:100

**AMENDED PLAN / DOCUMENT
DATE: 29/04/2021**



ELEVATION 3 / STUDIO

SCALE 1:100

SHEET 3 OF 6

PROJECT: Addition to Existing Dwelling
CLIENT: Brooke and Michelle Fogden
SITE ADDRESS: 5 Arundel Ave Millswood SA 5034

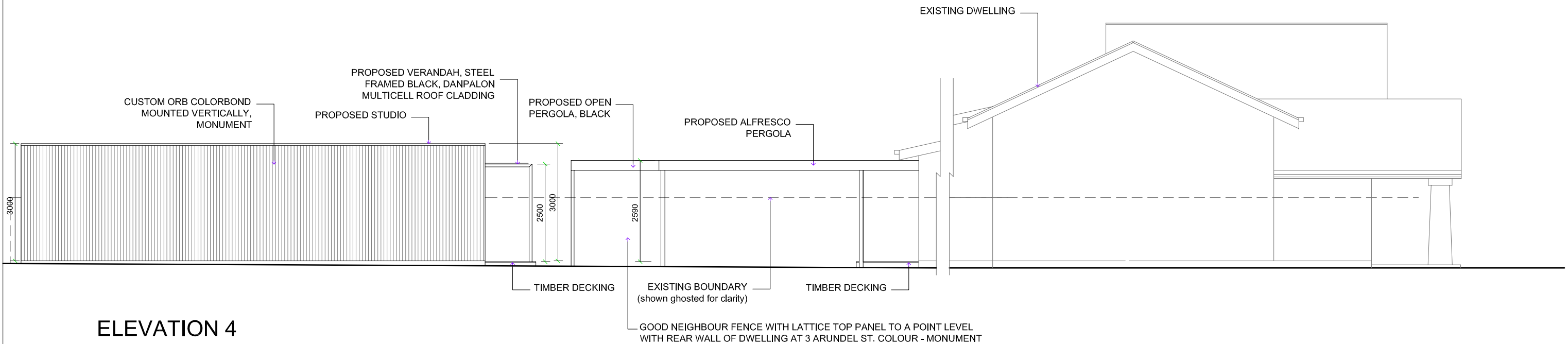
ELEVATIONS

SCALE: 1:100 UNO
DRAWN BY: S.LAYTON
DATE: 15Jun2017

Rev.	Remarks	Date
A	Re-Issued for Planning Approval	29AUG20

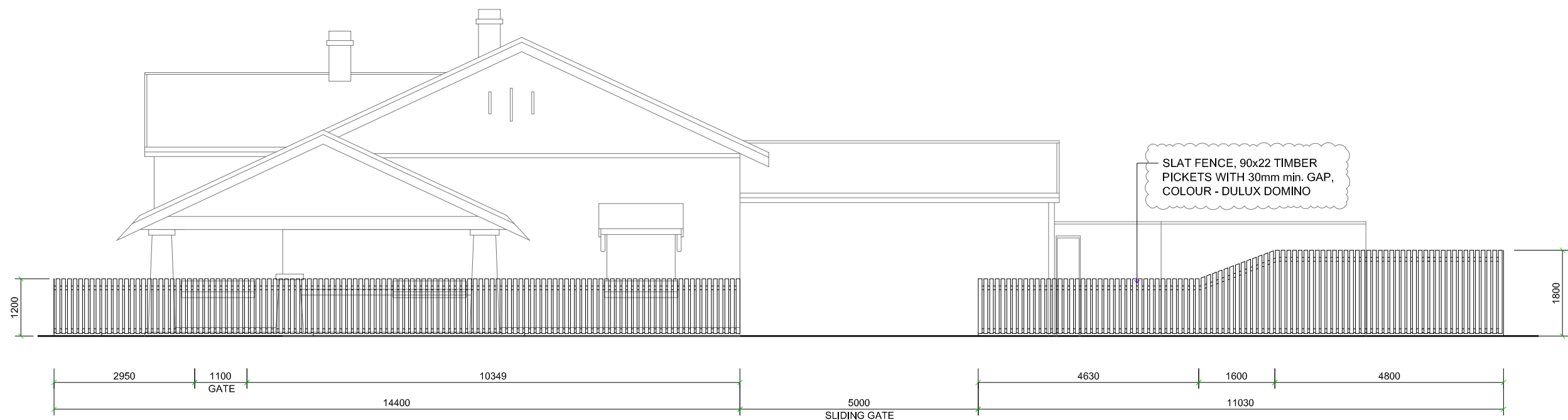
steve
laytondesign

10 WIGLEY DRIVE
McLAREN VALE
Mob: 0448 656 254
Email: stevelaytondesign@bigpond.com
ABN: 40 248 246 245




ELEVATION 4
SCALE 1:100

AMENDED PLAN / DOCUMENT
DATE: 29/04/2021



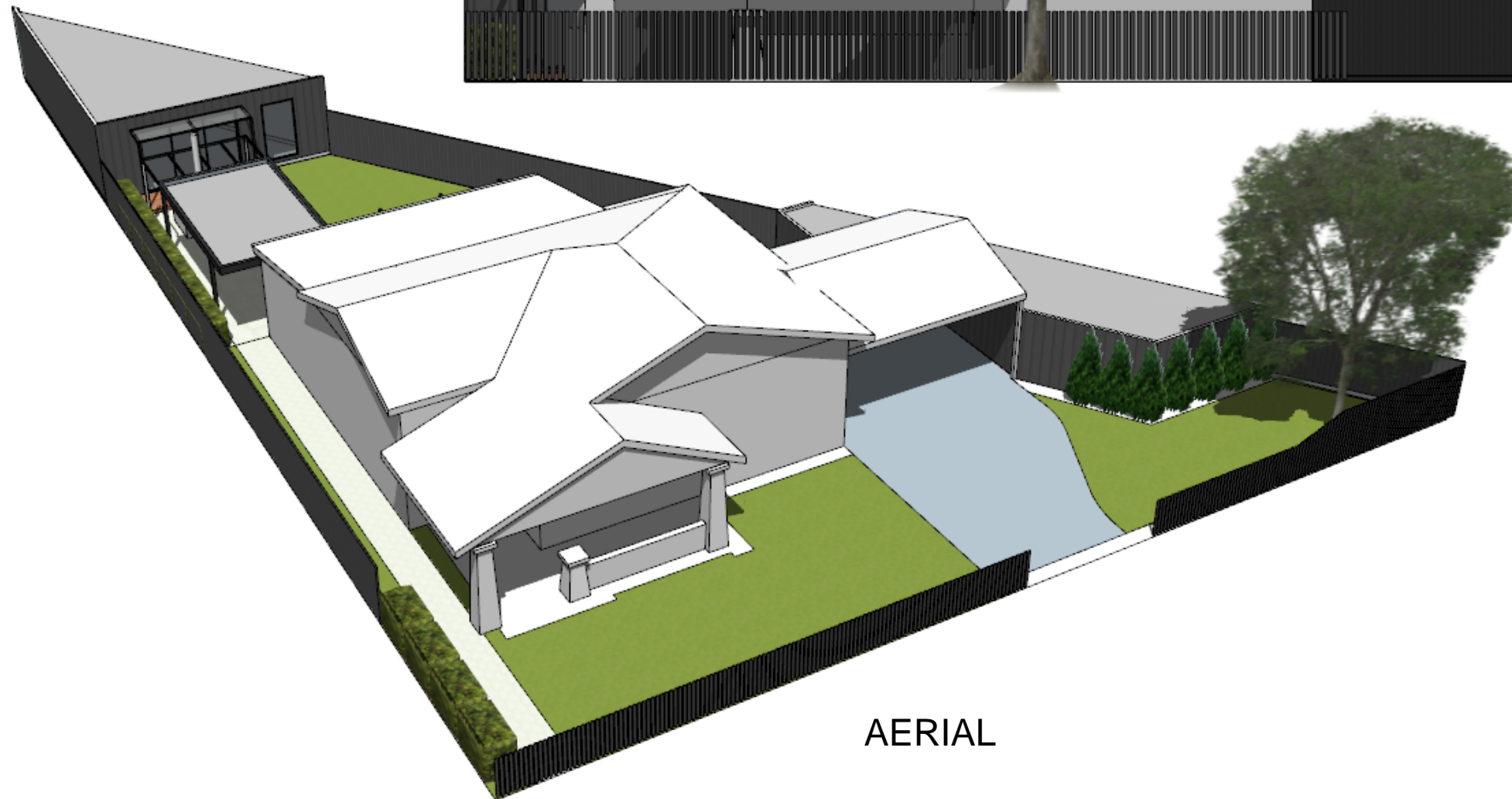
ELEVATION 1 - FENCE
SCALE 1:100

PROJECT: Addition to Existing Dwelling CLIENT: Brooke and Michelle Fogden SITE ADDRESS: 5 Arundel Ave Millswood SA 5034	ELEVATIONS		Rev.	Remarks	Date
			A	Re-Issued for Planning Approval	29AUG20
	SCALE: 1:100 UNO				
	DRAWN BY: S.LAYTON				
	DATE: 15Jun2017				
					10 WIGLEY DRIVE McLAREN VALE Mob: 0448 656 254 Email: stevelaytondesign@bigpond.com ABN: 40 248 246 245

AMENDED PLAN / DOCUMENT
DATE: 29/04/2021



STREETSCAPE



AERIAL

FOR ILLUSTRATION PURPOSE
 REFER TO TECHNICAL DRAWINGS FOR DETAILS

ARCHITECTURALS

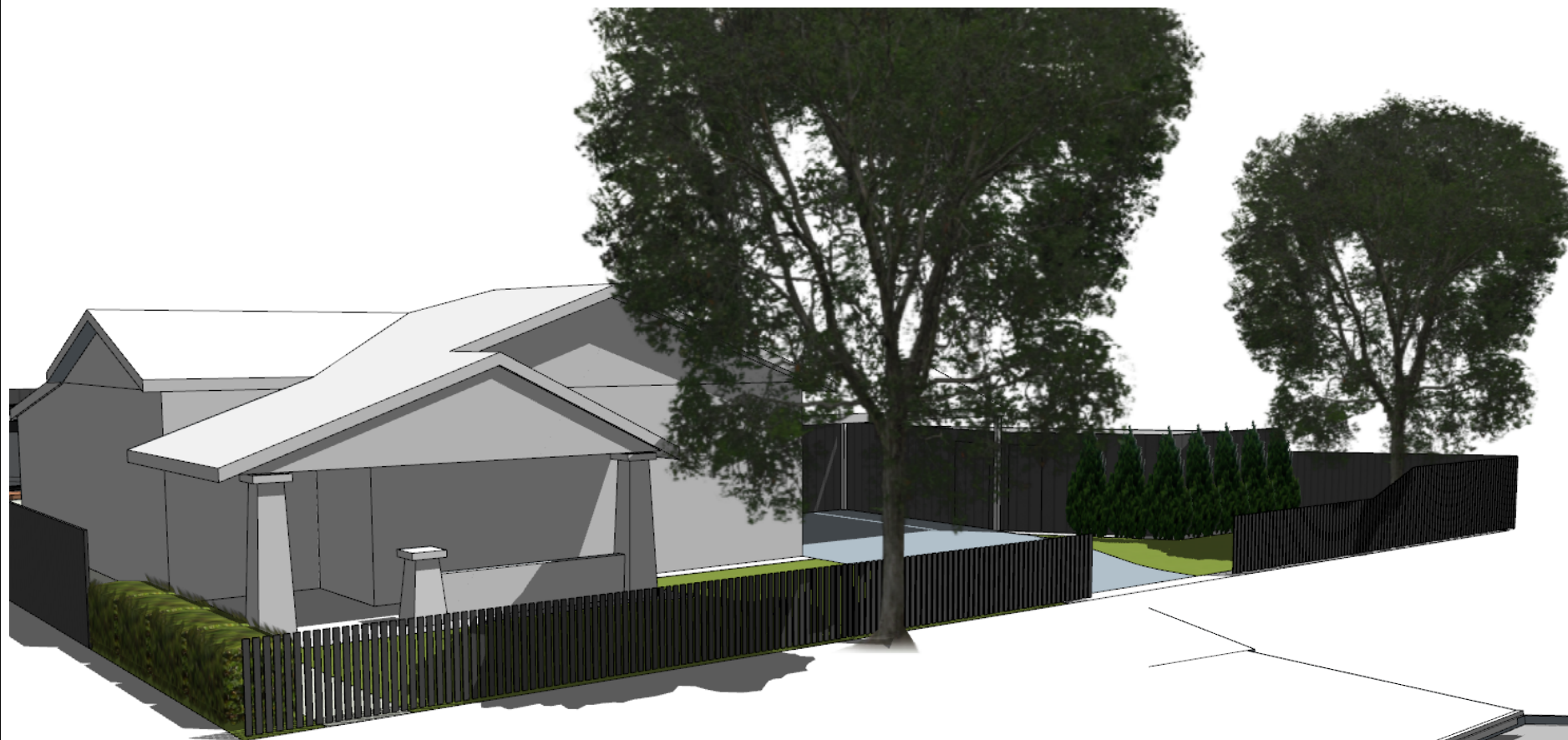
SCALE: N.T.S.
 DRAWN BY: S.LAYTON
 DATE: 15Jun2017

Rev.	Remarks	Date
A	Re-Issued for Planning Approval	29AUG20

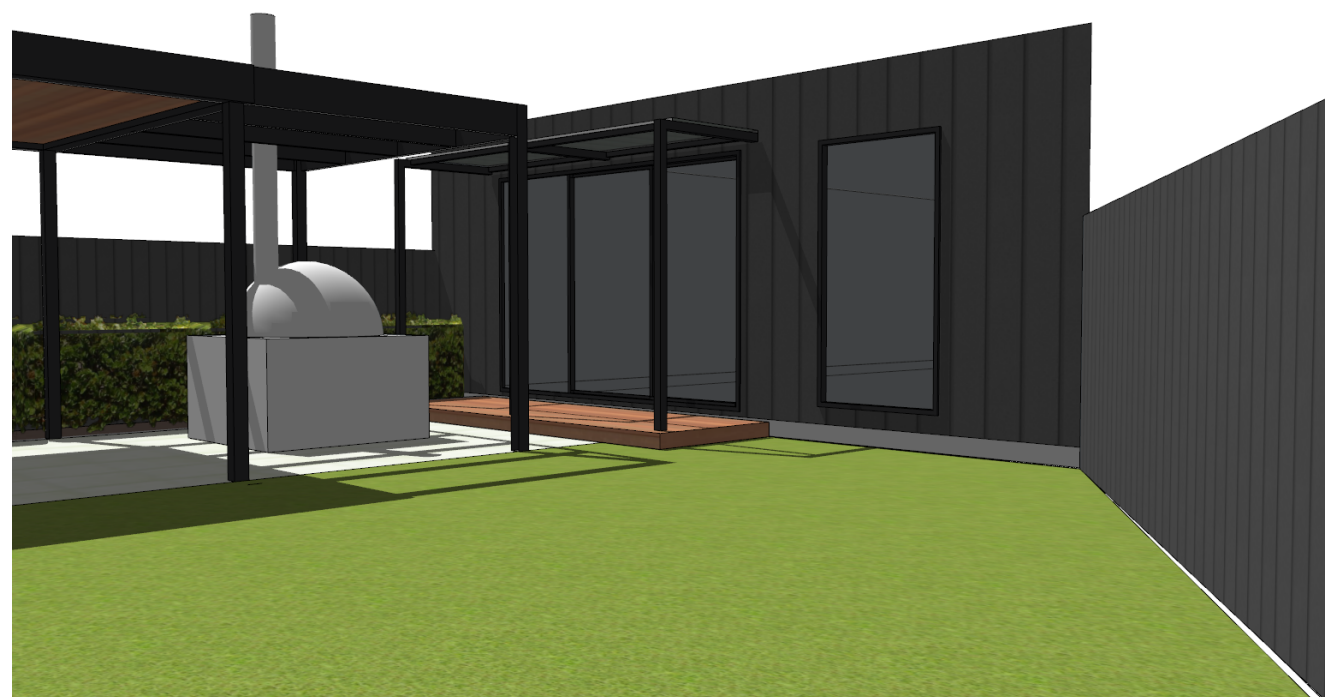
steve
laytondesign

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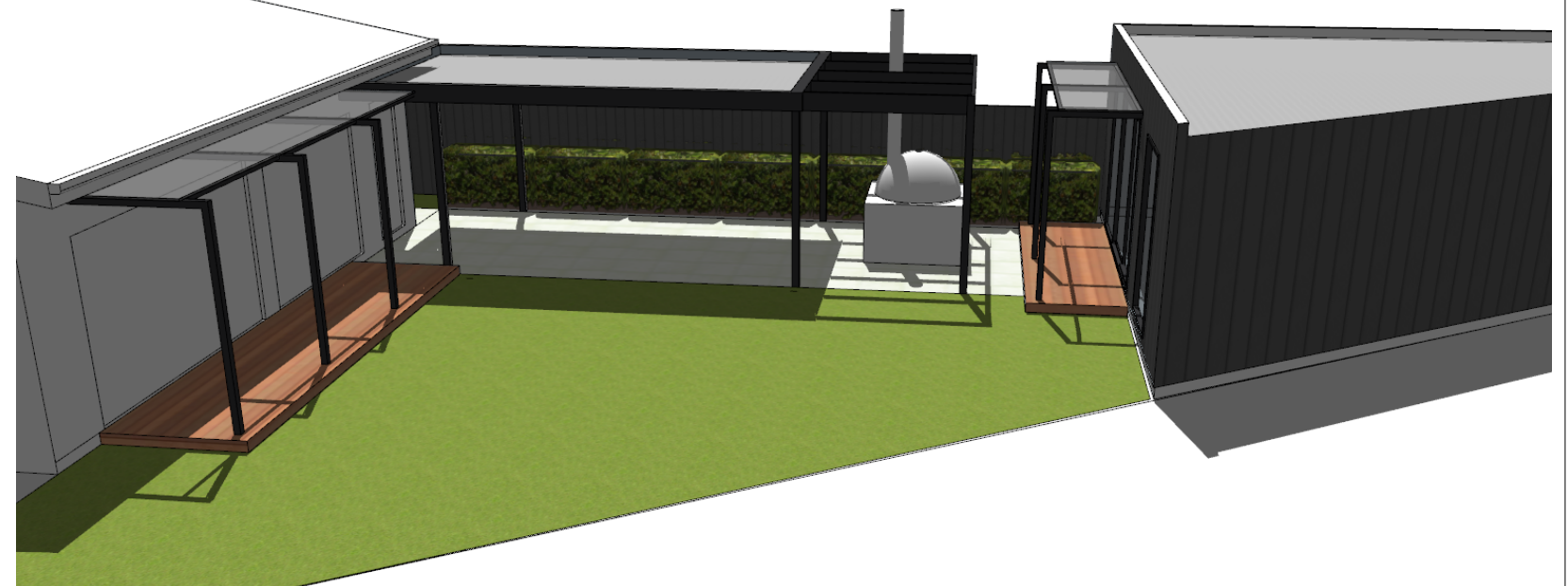
SHEET 5 OF 6



STREET VIEW



STUDIO



ALFRESCO

FOR ILLUSTRATION PURPOSE
REFER TO TECHNICAL DRAWINGS FOR DETAILS

SHEET 6 OF 6

PROJECT: Addition to Existing Dwelling
CLIENT: Brooke and Michelle Fogden
SITE ADDRESS: 5 Arundel Ave Millswood SA 5034

ARCHITECHTURALS

SCALE: N.T.S.
DRAWN BY: S.LAYTON
DATE: 15Jun2017

Rev.	Remarks	Date
A	Re-Issued for Planning Approval	29AUG20

steve
laytondesign

10 WIGLEY DRIVE
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Mob: 0448 656 254
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ATTACHMENT B

REPRESENTATION Category 2 (Page 1)

To: Amy Barratt, City of Unley Development Section

Please read these notes carefully:

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2. This page (ie Page 1) will **NOT** be published on the internet.
3. Pages 1 and 2 (and any attachments) may be included as attachments in the hard copy of the Council Assessment Panel agenda.
4. Please note that in accordance with Section 38(8) of the Development Act 1993, a copy of this representation (Pages 1 and 2 and attachments) will be forwarded to the Applicant for consultation and response.

The **closing date** for Representations is **5pm on 17 March 2021**.

Application: 090/810/2017/C2/A 5 Arundel Avenue, Millswood 5034

Details of Person(s) making Representation:

Name:

Postal Address:

EMAIL ADDRESS:

Daytime Phone No

Property affected
by Development

3 Arundel Ave., Millswood. S.A.


(Signature)

16.03.2021
(Date)

REPRESENTATION Category 2 (Page 2)

To: Amy Barratt, City of Unley Development Section

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The closing date for Representations is **5pm on 17 March 2021**.

Application:	090/810/2017/C2/A 5 Arundel Avenue, Millswood 5034
Property affected by Development	3 Arundel Avenue, Millswood 5034.

☐ I support the proposed development.

OR (Tick one only)

☒ I object to the proposed development because:

(Please state your reasons so that each planning issue can be clearly identified. Attach extra pages if you wish)

Refer Attachment #1

My concerns (if any) could be overcome by:

Refer Attachment #2

☐ WISH TO BE HEARD

☒ DO NOT WISH TO BE HEARD

by the Council Assessment Panel

(Tick one box only. If you do not tick either box it will be assumed that you do not wish to be heard by the Council Assessment Panel.)



ATTACHMENT #1

**REPRESENTATION FOR APPLICATION 090/810/2017/C2/A –
5 ARUNDEL AVENUE MILLSWOOD 5034**

- 1.1 At the outset, I acknowledge that in this variation, the height of the proposed studio has been reduced from two storeys to one and the height of the proposed pergola over the alfresco area has been reduced to the same height of the existing pergola i.e. 2590. These adjustments are appreciated.
- 1.2 My principal concern is for the degradation of my visual amenity caused by the massive 12m long x 3m high studio wall on the common boundary. Further, there is no information re the inevitable replacement of the existing fence from the North end of the studio wall to a point level with the Southern corner of my home.
- 1.3 On the matter of building on the boundaries; there appears to be an anomaly on the overall amount of boundary construction proposed on the site. Consider:
Total length of side boundaries (on 5 Arundel Ave) is approx 125m;
The total length of proposed construction on side boundaries (in 2 locations) is 42m representing approx. 33% of the side boundaries
Even allowing for the vagaries and flexible interpretations of the Development Plan this would appear to be excessive.

In this vein I am concerned about the massive visual impact of the proposed construction on the enjoyment of my back garden. Presently there is a view to the West of approx 16m length along my fence-line which is fenced in Colorbond cladding to a height of about 1.6m with a 600 topping of timber trellis which allows late afternoon sun into my yard.

The proposed studio will transform this view into a 12m long x 3m high mass plus 4m section of fence as yet not considered. I strenuously object to this obtrusive action and question how the DP can allow this excessive length that appears to be double the length of the typical 6m.

Signed



Date 16.03.2021

ATTACHMENT #2

**REPRESENTATION FOR APPLICATION 090/810/2017/C2/A –
5 ARUNDEL AVENUE MILLSWOOD 5034**

My concerns etc

- 2.1 reaching an agreement with the applicant that the fence is replaced at the applicant's cost to a mutually developed design but basically a Colorbond metal clad good-neighbour style in the same profile and colour as the new studio wall on the boundary. It is noted that the colour specified on the plan is no longer produced and I would nominate Woodland Grey as the replacement colour. This fence would be topped with a metal 600 infill in trellis-style of Colorbond material to match the colour of the cladding.
- 2.2 insertion in the final building work specification that the security of my property is to be maintained while work is being done on the boundary. This includes the prevention of personnel entry from the railway easement.
- 2.3 that any damage caused to my garden is to be made good.

Signed

J Hodge

Date

16.03.2021

REPRESENTATION Category 2 (Page 1)

CITY OF UNLEY

03 MAR 2021

REF:

To: Amy Barratt, City of Unley Development Section

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Application: 090/810/2017/C2/A 5 Arundel Avenue, Millswood 5034

Details of Person(s) making Representation:

Name:

Postal Address:

EMAIL ADDRESS:

Daytime Phone No.

Property affected
by Development

18 MILLSWOOD CRESCENT, MILLSWOOD SA 5034

A.E. Heidemann

(Signature)

A.M. Heidemann

1/3/2021

(Date)

REPRESENTATION Category 2 (Page 2)

To: Amy Barratt, City of Unley Development Section

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Property affected by Development	18 MILLSWOOD CRESCENT MILLSWOOD 5034.

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OR (Tick one only)

☐ I object to the proposed development because:

(Please state your reasons so that each planning issue can be clearly identified. Attach extra pages if you wish)

My concerns (if any) could be overcome by:

☐ WISH TO BE HEARD

☒ DO NOT WISH TO BE HEARD

by the Council Assessment Panel

(Tick one box only. If you do not tick either box it will be assumed that you do not wish to be heard by the Council Assessment Panel.)

ATTACHMENT C

13th April 2021

Steve Layton Design
10 Wigley Drive McLaren Vale
e: stevelaytondesign@bigpond.com
p: 0448 656 254

To:
Amy Barratt
Planning Officer
Development & Regulatory Services
City of Unley

Application: 090/810120171C21A 5 Arundel Avenue, Millswood 5034

Response to Representation Cat 2

Details of Person Making Representation:
J. F. Hodge
5 Arundel Avenue, Millswood 5034

Dear Amy,

I would like to further respond to the representation submitted to council by J. F. Hodge regrading the proposed development at 5 Arundel Avenue Millswood following a meeting between the representor and the applicant.

The owners have noted the concerns raised and provide the following comments and proposed amendments and conditions.

1. A new fence will be provided by the applicant from the northern wall of the proposed studio development to an approximate point level with the rear of the dwelling at 3 Arundel Avenue. This will be a good neighbour fence in a colorbond 'Monument' as selected by the representor and will have a lattice top panel. This will form part of this development.
2. The studio wall on the boundary that face 3 Arundel Avenue will be 3m maximum in height from the finished floor level of the studio. The FFL of the Studio will be the same level as the FFL of the existing dwelling. The wall cladding will be monument in colour as selected by the representor.
3. The applicant agrees to insert a condition in the final building work specification that the security of 3 Arundel Avenue property is to be maintained while work is being done on the boundary. This includes the prevention of personnel entry from the railway easement.
4. The applicant agrees maintain a high level of care when working from within the property of 3 Arundel Avenue and any damage to the garden will be rectified by the applicant to the satisfaction of the representor.

Please advise if you require further information.

Regards

Steve Layton

GENERAL NOTES:

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2. WRITTEN DIMENSIONS WILL TAKE PRIORITY OVER SCALED MEASUREMENTS. DIMENSIONS SHOULD BE VERIFIED ON SITE BY BUILDER OR CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK.
3. ALL WORKS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA.
4. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH SA WORK AND SAFETY ACT, REGULATIONS AND CODES OF PRACTICE 2012.
5. ALL TIMBER WALL AND ROOFING MEMBERS TO COMPLY WITH THE NATIONAL TIMBER FRAMING CODE AS-1684.2
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11. DRAUGHT PROTECTION DEVICES TO BE FITTED TO EDGES OF EXTERNAL DOORS.
12. (S) SELF CONTAINED HARD WIRED SMOKE ALARM COMPLYING WITH AS3786 CONNECTED TO CONSUMER MAINS WITH BATTERY BACK UP. SMOKE ALARMS TO BE INTERCONNECTED COMPLYING WITH BCA 2014.
13. EFFLUENT TO DISCHARGE TO SA WATER SEWER NETWORK IN ACCORDANCE WITH S.A. HEALTH COMMISSION & COUNCIL REQUIREMENTS.
14. NO BRUSH FENCES ARE TO BE WITHIN 3m OF THE BUILDING WORKS.
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WALLS: R2.5 WALL BATT INSULATION TO EXTERNAL WALLS WITH WEATHER PROOF BARRIER UNLESS NOTED OTHERWISE.
R2 INSULATION TO INTERNAL WALLS UNLESS NOTED OTHERWISE.

TERMITE TREATMENT:

PROVIDE A TERMITE PROTECTION BARRIER TO AS3660.1 AND INSTALLED TO MANUFACTURER'S SPECIFICATIONS

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- CATCHMENT AREA TO BE NO LESS THAN 50m2 AS SHOWN.
 - OVERFLOW FROM TANK TO BE PLUMBED TO APPROVED EXISTING STORMWATER OUTLET.
 - INLET AND OVERFLOW TO BE FITTED WITH MOSQUITO PROOF NON-DEGRADABLE SCREENS.
 - APPROPRIATE SUPPOT STRUCTURE FOR TANK TO BE PROVIDED.
- PLUMBING FOR TANK TO COMPLY WITH AS/NZS 3500:2003 (SECTION 14)

AREAS:

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EXISTING VERANDAH:	22m2
EXISTING CARPORT:	23m2
PROPOSED STUDIO:	50m2
PROPOSED ALFRESCO:	24m2
PROPOSED CARPORT ADDITION:	22m2
PROPOSED SHED:	35m2
PROPOSED VERANDAHS:	16m2

TOTAL: 346m2

ALLOTMENT AREA: 700m2

LEGEND/NOTES

- DP(E) EXISTING DOWNPIPE
- DP DOWNPIPE
- 90 DIA. PVC SEALED UNDERGROUND STORMWATER PIPE

FFL xxx.xx DENOTES EXISTING DESIGN LEVELS
FFL [xxx.xx] DENOTES NEW DESIGN LEVELS

ALL FINISHED LEVELS TO BE CONFIRMED ON SITE BY OWNER AND BUILDER

 PROPOSED AREA OF DEVELOPMENT

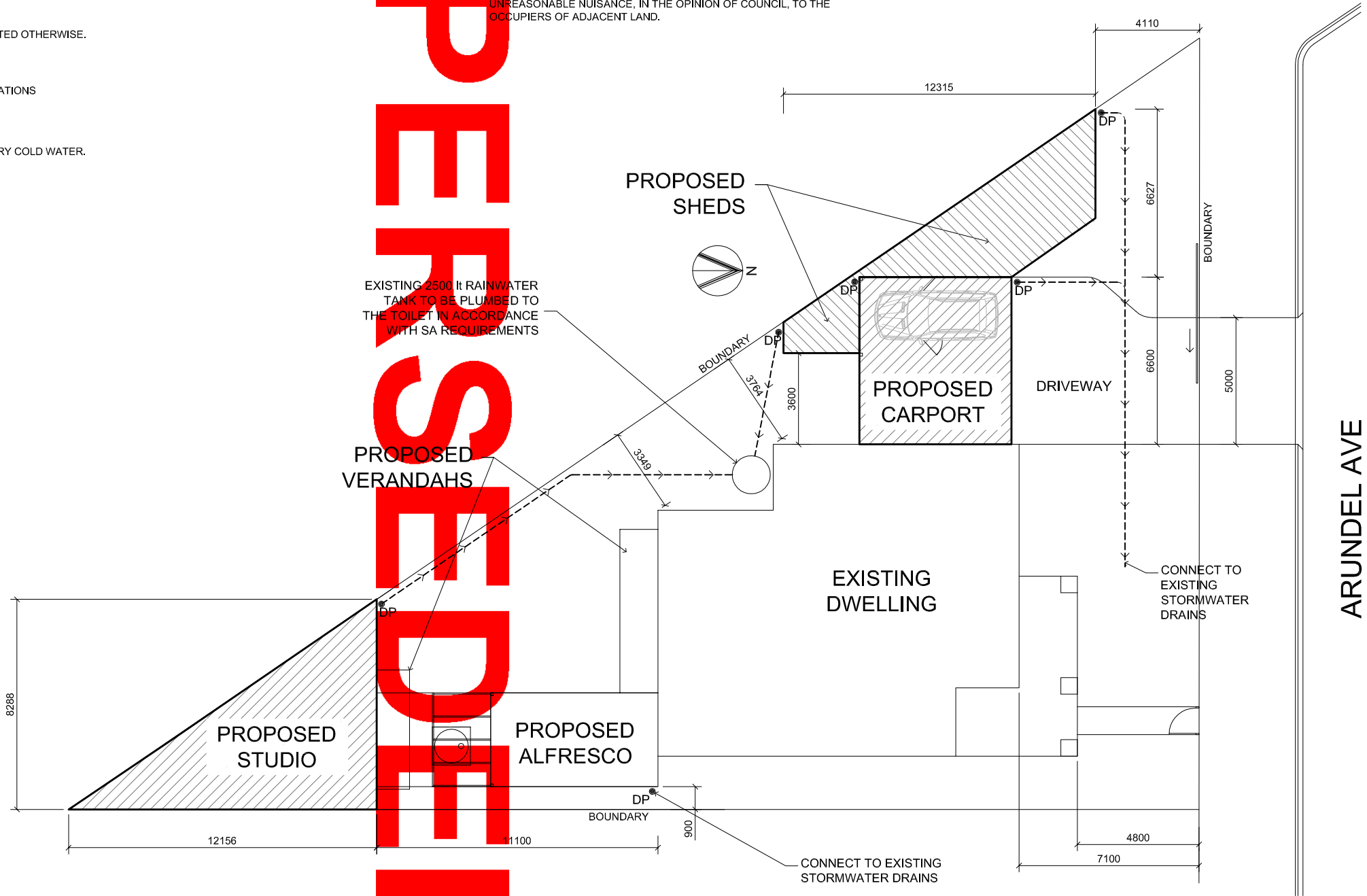
REFER TO CERTIFICATE OF TITLE FOR DETAILS REGARDING BOUNDARY DIMENSIONS, ENCUMBRANCES AND EASEMENTS.

CONSTRUCTION NOTES:

DURING CONSTRUCTION AND AT ALL TIMES THEREAFTER, STORMWATER GENERATED FROM THE DEVELOPMENT SHALL BE DIVERTED AWAY FROM ALL BUILDINGS, SHALL NOT POND AGAINST OR NEAR THE FOOTINGS, AND SHALL NOT BE DISCHARGED ONTO ADJOINING LAND.

- DURING CONSTRUCTION EFFECTIVE MEASURES MUST BE IMPLIMENTED TO :
- PREVENT SILT RUN OFF FROM THE LAND TO ADJOINING PROPERTIES ROADS AND DRAINS.
 - CONTROL DUST ARISING FROM THE CONSTRUCTION AND OTHER ACTIVITIES, SO AS NOT TO, IN THE OPINION OF COUNCIL, BE A NUISANCE TO RESIDENTS OR OCCUPIERS ON ADJACENT OR NEARBY LAND.
 - ENSURE THAT SOIL OR MUD IS NOT TRANSFERRED ONTO THE ADJACENT ROADWORKS BY VEHICLES LEAVING THE SITE.
 - ENSURE THAT ALL LITTER AND BUILDING WASTE IS CONTAINED ON THE SUBJECT SITE IN A SUITABLE COVERED BIN OR ENCLOSURE.
 - ENSURE NO SOUND IS EMITTED FROM ANY DEVICE, PLANT OR EQUIPMENT OR FROM ANY SOURCE OR ACTIVITY TO BECOME AN UNREASONABLE NUISANCE, IN THE OPINION OF COUNCIL, TO THE OCCUPIERS OF ADJACENT LAND.

**AMENDED PLAN / DOCUMENT
DATE: 24/02/2021**



PROJECT: Addition to Existing Dwelling
CLIENT: Brooke and Michelle Fogden
SITE ADDRESS: 5 Arundel Ave Millswood SA 5034

SITE PLAN

SCALE: 1:200 UNO
DRAWN BY: S.LAYTON
DATE: 15Jun2017

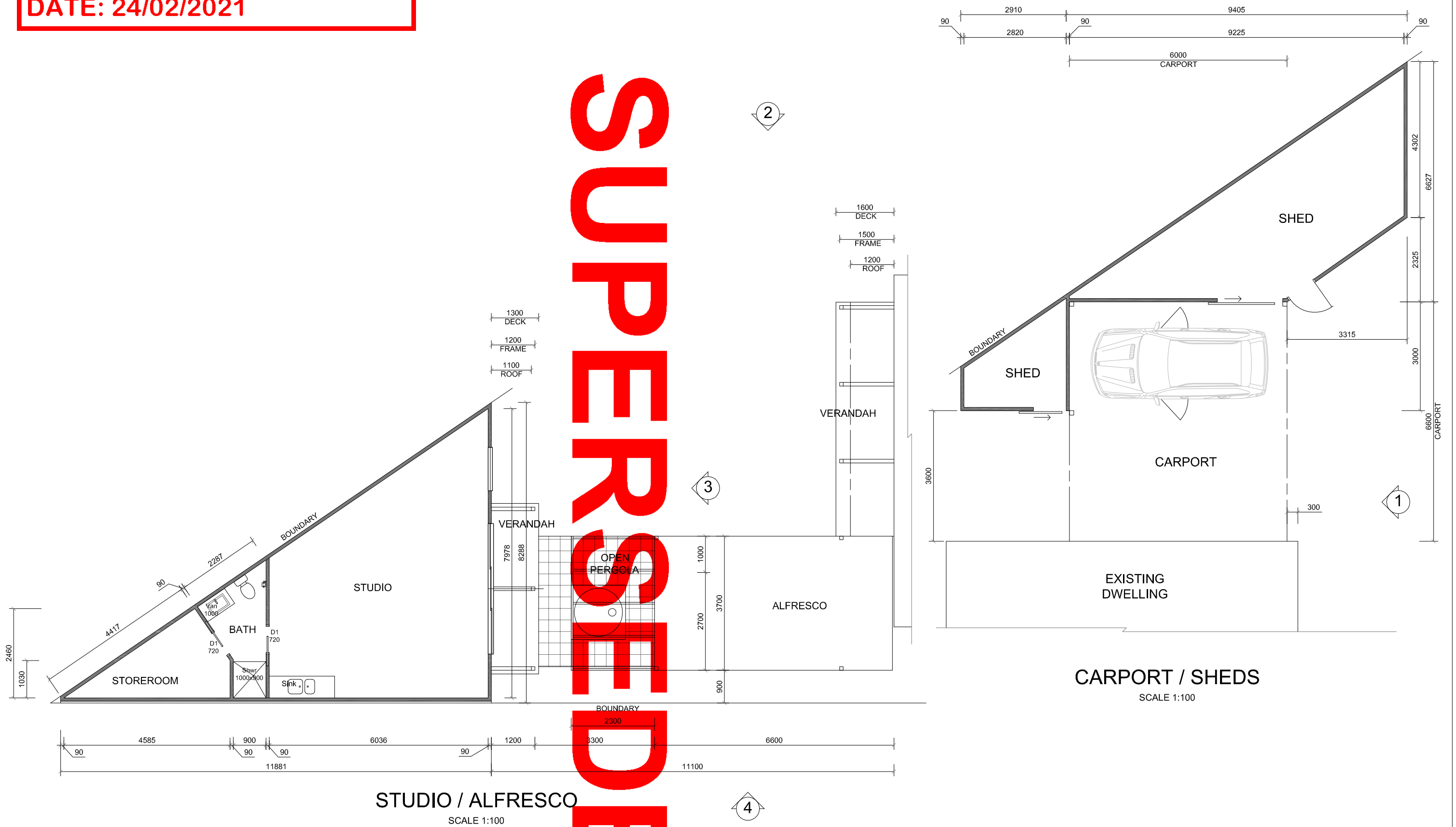
Rev.	Remarks	Date
A	Re-Issued for Planning Approval	29AUG20

steve
laytondesign

10 WIGLEY DRIVE
McLAREN VALE
Mob: 0448 656 254
Email: stevelaytondesign@bigpond.com
ABN: 40 248 246 245

SHEET 1 OF 6

AMENDED PLAN / DOCUMENT
DATE: 24/02/2021



PROJECT: Addition to Existing Dwelling
CLIENT: Brooke and Michelle Fogden
SITE ADDRESS: 5 Arundel Ave Millswood SA 5034

FLOOR PLAN

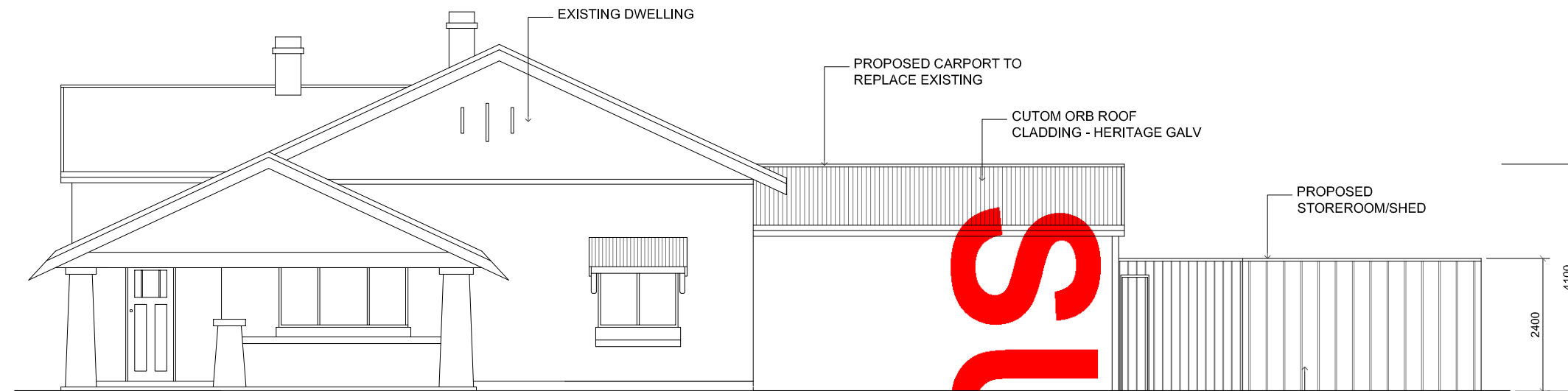
SCALE: 1:100 UNO
DRAWN BY: S LAYTON
DATE: 15Jun2017

Rev.	Remarks	Date
A	Re-Issued for Planning Approval	29AUG20

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SHEET 2 OF 6

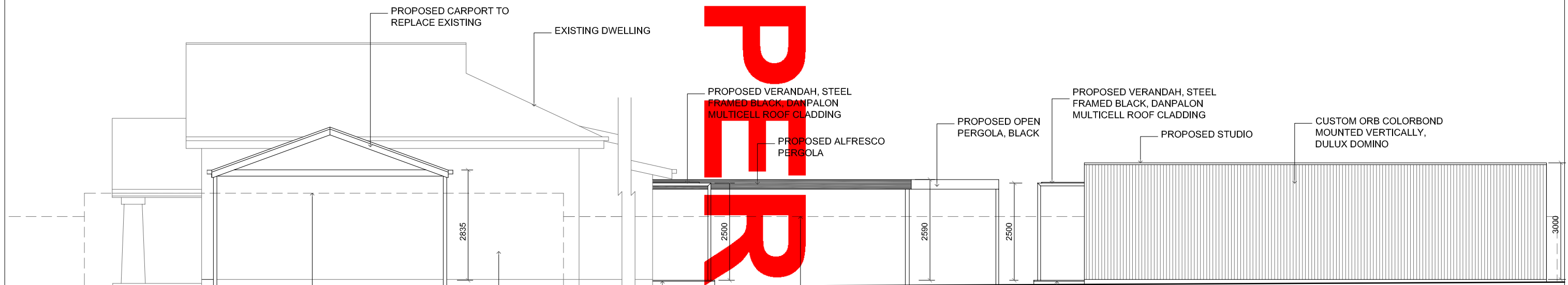


ELEVATION 1

SCALE 1:100

EXTERIOR COLOUR SCHEDULE	
ROOF	HERITAGE GALVANISED CUSTOM ORB ROOFING
GUTTERS	DOMINO - TO MATCH EXISTING
FASCIAS	DOMINO - TO MATCH EXISTING
WALLS	DOMINO - TO MATCH EXISTING FENCE
WINDOW AND DOOR FRAMES	BLACK
WINDOW AND DOOR FRAMES	BLACK

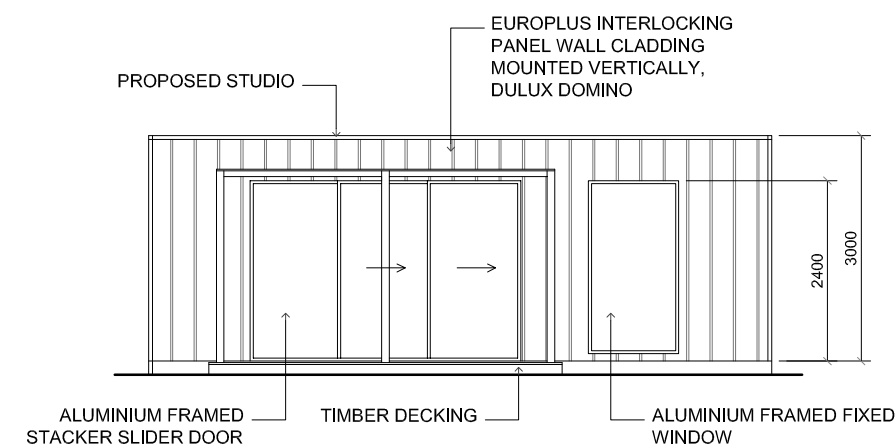
NOTE: ALL COLOURS TO BE CONFIRMED WITH OWNER PRIOR TO PROCUREMENT .



ELEVATION 2

SCALE 1:100

AMENDED PLAN / DOCUMENT
DATE: 24/02/2021



ELEVATION 3 / STUDIO

SCALE 1:100

SHEET 3 OF 6

PROJECT: Addition to Existing Dwelling
CLIENT: Brooke and Michelle Fogden
SITE ADDRESS: 5 Arundel Ave Millswood SA 5034

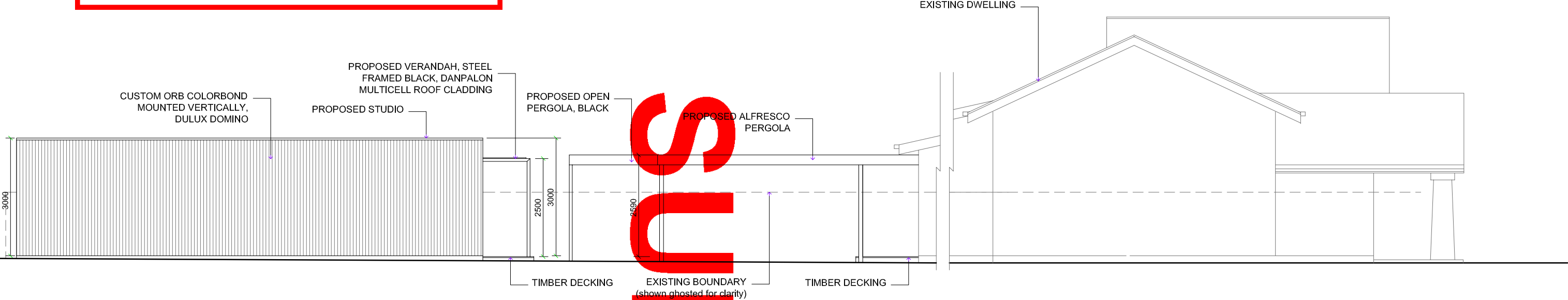
ELEVATIONS

SCALE: 1:100 UNO
DRAWN BY: S.LAYTON
DATE: 15Jun2017

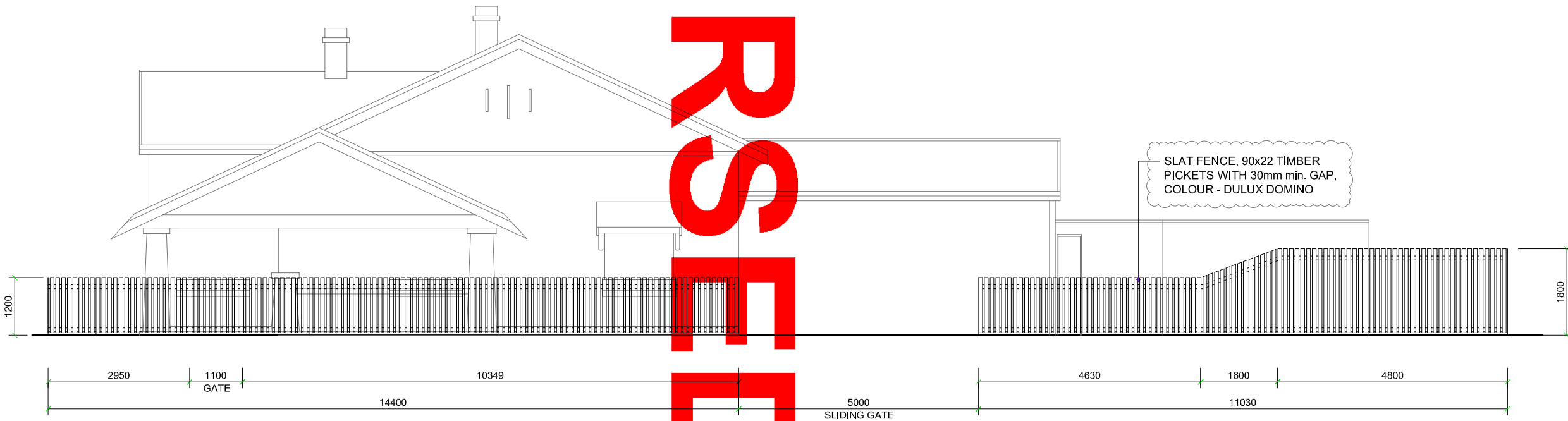
Rev.	Remarks	Date
A	Re-Issued for Planning Approval	29AUG20

steve
laytondesign


10 WIGLEY DRIVE
McLAREN VALE
Mob: 0448 656 254
Email: stevelaytondesign@bigpond.com
ABN: 40 248 246 245



ELEVATION 4
SCALE 1:100



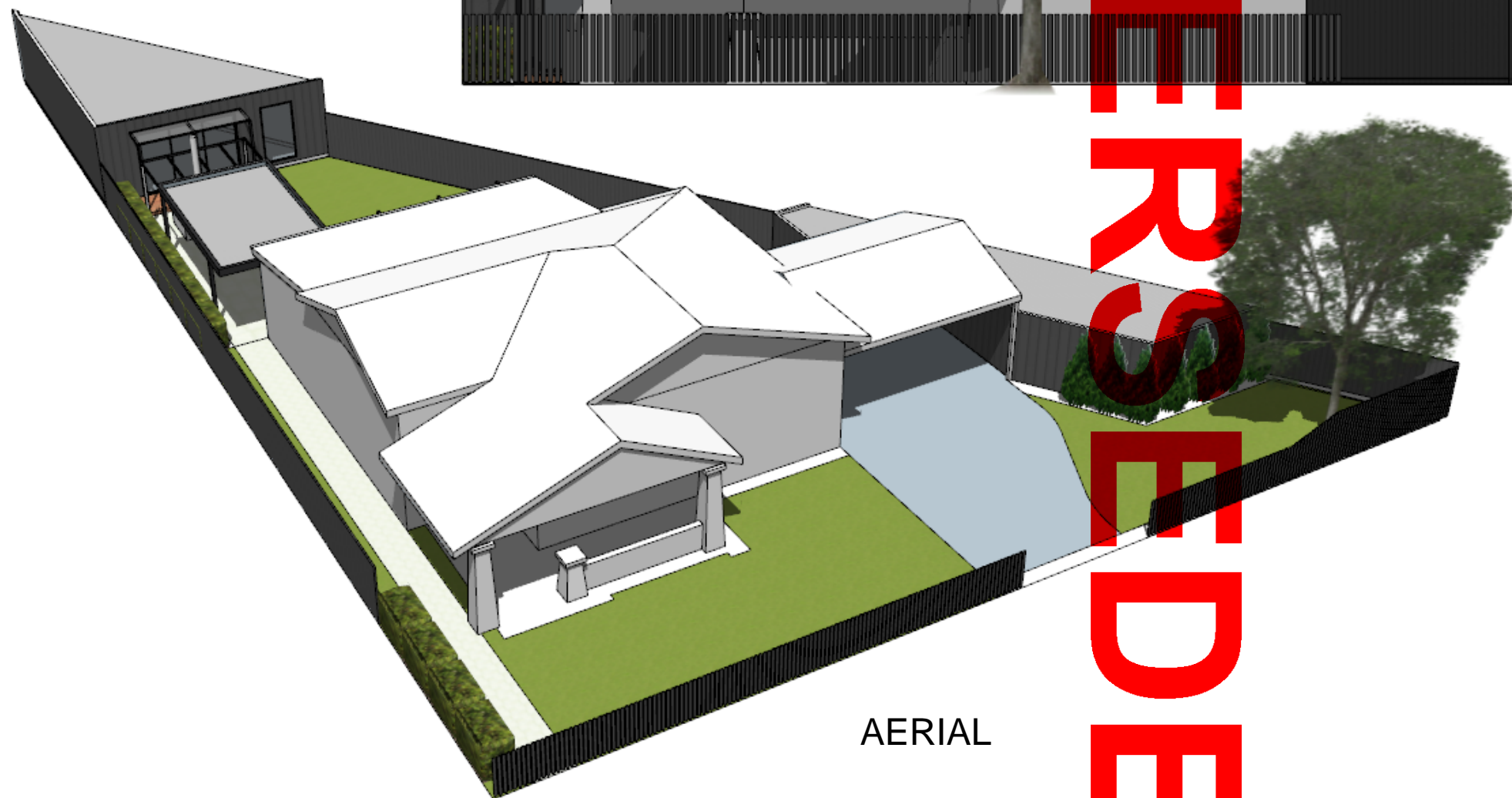
ELEVATION 1 - FENCE
SCALE 1:100

PROJECT: Addition to Existing Dwelling CLIENT: Brooke and Michelle Fogden SITE ADDRESS: 5 Arundel Ave Millswood SA 5034	ELEVATIONS		Rev.	Remarks	Date		10 WIGLEY DRIVE McLAREN VALE Mob: 0448 656 254 Email: stevelaytondesign@bigpond.com ABN: 40 248 246 245
			A	Re-Issued for Planning Approval	29AUG20		
	SCALE: 1:100 UNO						
	DRAWN BY: S.LAYTON						
	DATE: 15Jun2017						

AMENDED PLAN / DOCUMENT
DATE: 24/02/2021



STREETSCAPE



AERIAL

FOR ILLUSTRATION PURPOSE
REFER TO TECHNICAL DRAWINGS FOR DETAILS

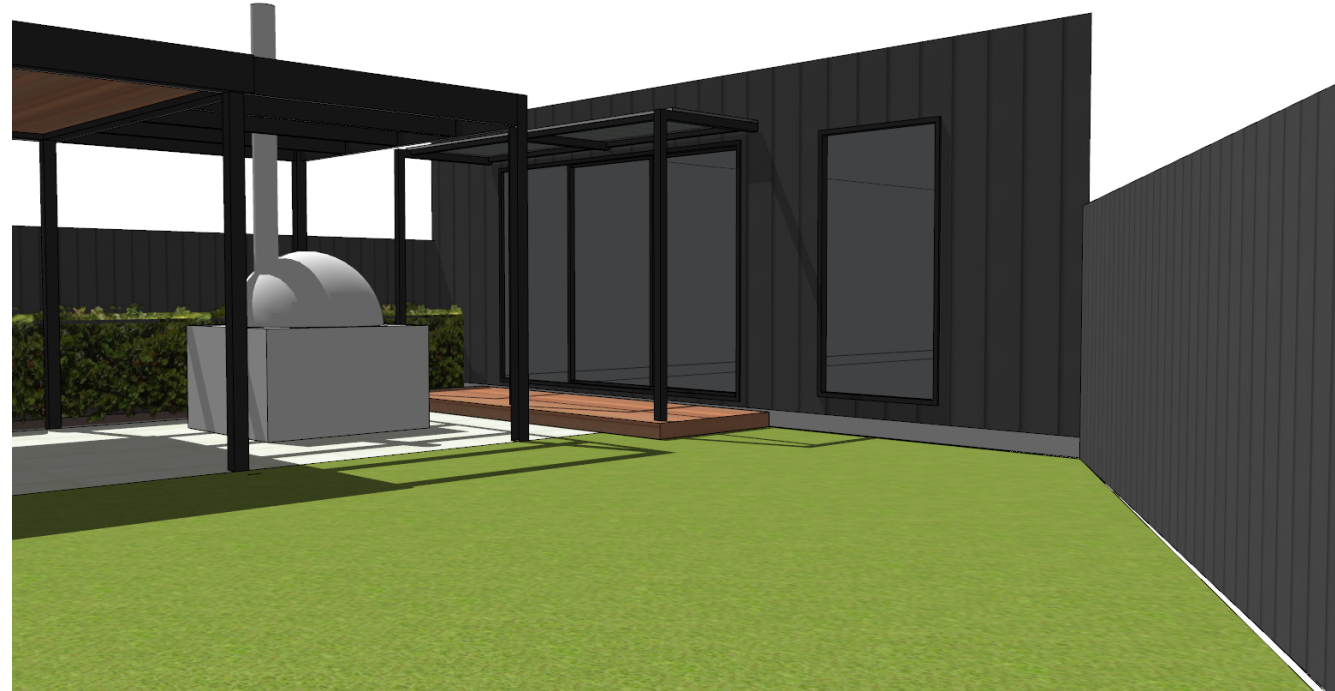
PROJECT: Addition to Existing Dwelling CLIENT: Brooke and Michelle Fogden SITE ADDRESS: 5 Arundel Ave Millswood SA 5034	ARCHITECTURALS		Rev.	Remarks	Date	steve laytondesign	10 WIGLEY DRIVE McLAREN VALE Mob: 0448 656 254 Email: stevelaytondesign@bigpond.com ABN: 40 248 246 245
	SCALE:	N.T.S.	A	Re-Issued for Planning Approval	29AUG20		
	DRAWN BY:	S.LAYTON					
	DATE:	15Jun2017					

SHEET 5 OF 6

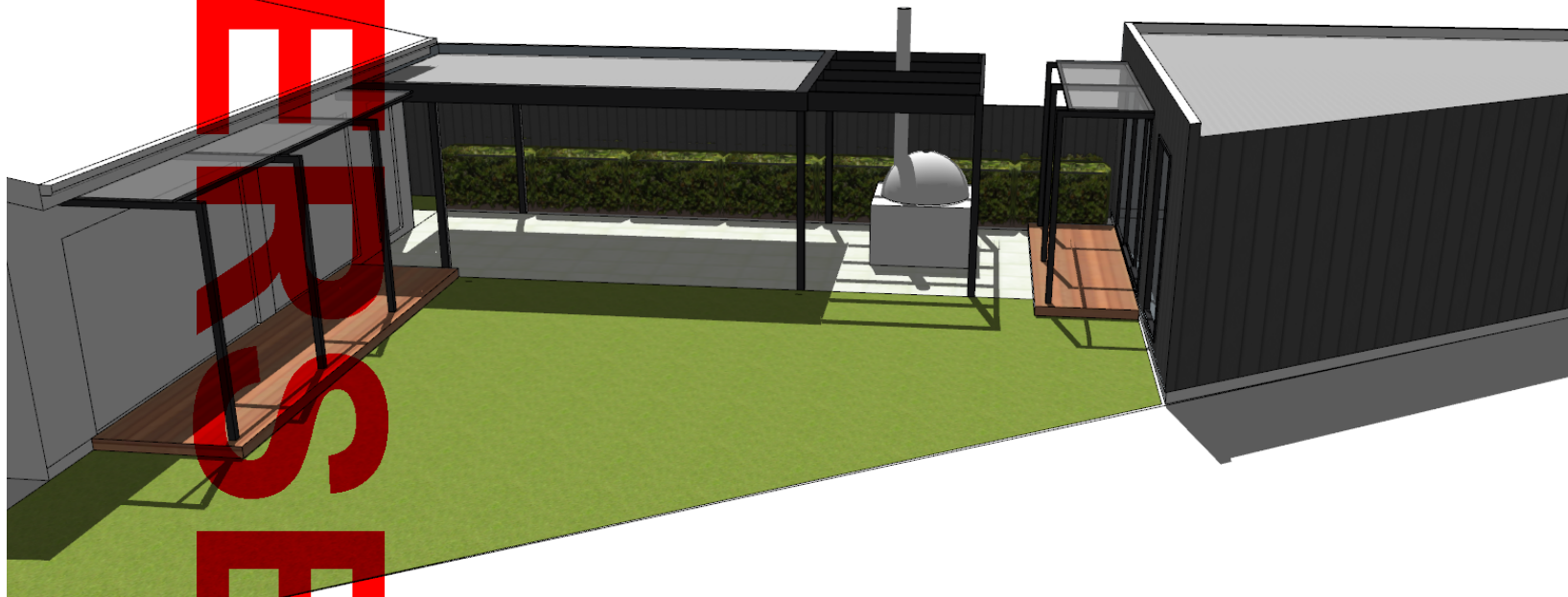
AMENDED PLAN / DOCUMENT
DATE: 24/02/2021



STREET VIEW



STUDIO



ALFRESCO

FOR ILLUSTRATION PURPOSE
REFER TO TECHNICAL DRAWINGS FOR DETAILS

PROJECT: Addition to Existing Dwelling CLIENT: Brooke and Michelle Fogden SITE ADDRESS: 5 Arundel Ave Millswood SA 5034	ARCHITECHTURALS	Rev	Remarks	Date	steve laytondesign	10 WIGLEY DRIVE McLAREN VALE Mob: 0448 656 254 Email: stevelaytondesign@bigpond.com ABN: 40 248 246 245
		A	Re-Issued for Planning Approval	29AUG20		
SCALE: N.T.S. DRAWN BY: S.LAYTON DATE: 15Jun2017						

SHEET 6 OF 6

ATTACHMENT D

8 February 2021

**Heritage Architect's Comments for 090/810/2017/C2/A - 5 Arundel Avenue,
Millswood 5034:**

The proposal is consistent with the preliminary proposal upon which the following advice was provided (email 14 August 2020). The advice was:

Although the proposed carport is double-width, it is setback from the front of the dwelling and is open. Furthermore, the subject dwelling is located at the end of the street, adjacent the railway line, so there is no disruption to the pattern of development or the rhythm of the streetscape. The proposed sheds, although forward of the dwelling, are low scale, recessive structures that blend with the landscaping. They are well to the side of, and do not disrupt streetscape views of, the subject dwelling. The higher fenceline at the western side of the property is acceptable for similar reasons.

I remain of this opinion.

It is recommended however that the colour of the cladding to the store room be a mid to dark grey, "Woodland Grey" or similar rather than "Domino" to better blend with landscaping and achieve consistency with prevailing character.

Corrugated profile cladding is preferred although, in this case, the "Europlus Interlocking Panel" cladding is acceptable for the storeroom because of the simplicity of the profile and the low scale of the building.

Although not typical of the Bungalow era, the proposed fence is considered to be sufficiently consistent in style with the subject dwelling assuming the slats are square top.

The spacing of the slats is however relatively close and it is of concern that the fence will tend to look too solid. Furthermore, the "Domino" colour is considered to be too dominant in the context. It is therefore recommended that the spacing of the slats be 30mm and a mid-tone colour complementary to the subject dwelling be selected.

Proposed rear additions have no streetscape impact and are acceptable.

ITEM 5
DEVELOPMENT APPLICATION – 090/837/2020/C2 – 95 CAMBRIDGE
TERRACE, MALVERN SA 5061 (UNLEY PARK)

DEVELOPMENT APPLICATION NUMBER:	090/837/2020/C2
ADDRESS:	95 Cambridge Terrace, Malvern
DATE OF MEETING:	18 May 2021
AUTHOR:	Mark Troncone
DEVELOPMENT PROPOSAL:	Construct single storey detached dwelling with cellar, swimming pool, verandahs, fencing and a garage on common boundary
HERITAGE VALUE:	Contributory
DEVELOPMENT PLAN:	15 October 2020
ZONE:	CONSERVATION ZONE AREA 6
APPLICANT:	Heritage Building Group
APPLICATION TYPE:	Merit
PUBLIC NOTIFICATION:	Category 2
REPRESENTATIONS RECEIVED:	YES – (1 oppose)
CAP'S CONSIDERATION IS REQUIRED DUE TO:	Unresolved representation
RECOMMENDATION:	Approval
KEY PLANNING ISSUES:	Building bulk / mass Wall on boundary Heritage impact Fencing

1. PLANNING BACKGROUND

The existing dwelling and associated structures on the land have approval to be removed under application 090/510/2016/C2.

2. DESCRIPTION OF PROPOSAL

The application includes the following elements:

- Construction of a single storey detached dwelling (with verandahs) including four bedrooms, gym, library, multiple living spaces, alfresco and cellar located beneath the scullery kitchen and pantry. The design is imitative of a Turn-of-the Century villa;
- garage (6.7m wide x 8.65m long x 3m wall height) located on the eastern property boundary, setback 5.5m;
- inground swimming pool; and

- 1.8m high brush fence extending along the western and portion of the northern property boundary with 1.8m rendered fencing on portion of the northern property boundary.

3. SITE DESCRIPTION

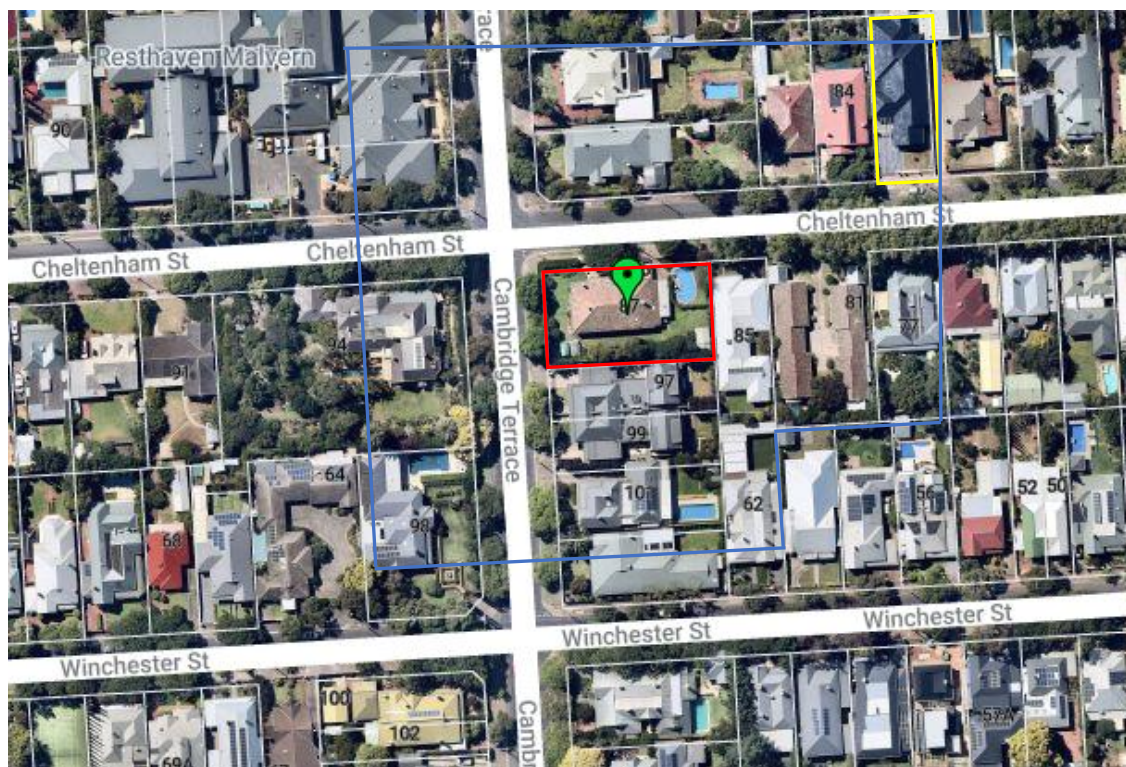
The subject site is referred to as 95 Cambridge Terrace, Malvern although the legal address is 87 Cheltenham Street, Malvern.

The subject site is located on the south-eastern corner of the junction of Cheltenham Street and Cambridge Terrace. The site is regular in shape, having a frontage to Cheltenham Street of 44.2m and frontage to Cambridge Terrace of 25.91m and an overall site area of 1,145m².

The site is currently occupied by a single storey dwelling (Villa), freestanding outbuilding located in the south-eastern corner of the land and high front fencing. Existing vehicle access is gained via Cheltenham Street crossover which is located adjacent the northern boundary. The crossover is proposed to be reinstated and a new invert proposed further east on Cheltenham Street. One mature and two semi mature street trees are located adjacent to the subject land.

No Regulated trees have been identified on the subject land or adjacent the proposed development.

4. LOCALITY PLAN



 Subject Site  Locality  1 Representation

5. LOCALITY DESCRIPTION

Land Use

The predominant land use within the locality is residential. A retirement village is situated diagonally opposite the subject site.

The original settlement pattern is largely intact accommodating predominantly single storey, detached dwellings.

The predominant architectural style includes symmetrical and asymmetrical villas of Victorian and Turn-of-the-Century era.

Fencing Styles

Fencing in the locality comprises predominantly hedges and brush fencing.

6. STATUTORY REFERRALS

No statutory referrals required.

7. NON-STATUTORY (INTERNAL) REFERRALS

The application was referred to Council's Consulting Heritage Architect. The following comments were provided:

The design of the replacement dwelling is imitative of a Turn-of-the Century villa. It is inconsistent with Zone PDC 10 which states that new buildings "should be of a high quality contemporary design and not replicate historic styles." Relevant provisions also seek "complementary, rather than inferior reproduction buildings". The emphasis is on conserving and enhancing historic character through retaining genuinely historic buildings and supplementing them with new buildings that are compatible in things such as scale and form but not imitative detail.

I believe therefore that the design of the proposed dwelling should be amended to conform with the intent of this policy.

I am aware however that Council have, in the past, supported similar designs where they have been well-executed and reproduce appropriate scale and form. This is the case with the current proposal.

If Council do support the proposed design, I recommend the following:

- *Amend the roof colour to a mid-grey such as "Wallaby", "Basalt", "Woodland Grey" or "Windspray" rather than "Monument" to blend with the mid-grey roof finishes of historic dwellings nearby and decrease the relative streetscape impact of the non-historic dwelling.*
- *Reduce the height of the solid wall section in Cheltenham Street from 2.05 metres to 1.8 metres for compatibility with existing fencing in the streetscape and relevant policy.*

- *Strip the mock-historic detail from the garage, reduce its height and separate the garage roof from the main dwelling.*
- *Increase the front Cheltenham Street setback and side setback of the garage.*

In response to this feedback the applicant amended the proposal as follows:

- Amend the roof colour to shale grey.
- Reduce the height of the boundary wall/fence from 2.05m to 1.8 metres.
- Simplify the garage design.
- Increase the garage setback to 5.5m setting it behind the main façade of the dwelling, reducing its visual prominence, and increasing the carparking capacity of the site to four spaces.
- Reduce the roof form of the garage and pool bath area making it less visually dominant.
- Reduce the height of the garage wall on the boundary from 3.61 metres to 3.0 metres.

The issues raised by Council's Consulting Heritage Architect have been adequately addressed.

The applicant proposes to reinstate two existing crossovers and create a new one, therefore the application was referred to Council's Asset team for feedback.

The following advice was provided:

- *Driveways are not to be constructed from concrete over the footpath area between the kerb to boundary.*
- *If a driveway crossover or portion of a driveway crossover is no longer required due to the relocation of a new crossover or alteration to an existing crossover.
The redundant driveway crossover or part of, is required to be closed and returned back to kerb and gutter, also raising the footpath level to match the existing paved footpath levels at either side of the crossover being closed.*
- *Finish level of driveways at boundary should match existing footpath level at the boundary or be a maximum 75mm above existing Kerb.*

Proposed condition's 2 and 3 adequately cover the crossover matter.

The application also impacts a young tree situated within the council road verge in order for the new invert to be constructed. The tree is acceptable to be removed given it does not make a contribution to the street tree canopy.

8. PUBLIC NOTIFICATION

Category 2 notification was undertaken in accordance with Table Un/8 of the Unley Development Plan. During the ten (10) business day notification period one representation was received as detailed below. A summary of the matters raised and the applicant's response is provided below.

84 Cheltenham Street, Malvern – (oppose)	
ISSUES RAISED	APPLICANTS RESPONSE
Boundary development should not include garages as access to natural light for neighbours may be affected.	<ul style="list-style-type: none"> Given the orientation of the allotments and the built form located on the eastern property boundary the development will not overshadow the adjoining dwelling to a substantial degree. The Development Plan contemplates single storey buildings being constructed on a single side boundary provided setbacks of the relevant desired character are met on the other side, which is achieved here with the gap in built form provided on the western side of the dwelling by the secondary street setback of 6.7m.
Buildings should be high quality contemporary design and not replicate historic styles. They should have primarily open front fencing and garden character.	<ul style="list-style-type: none"> Council's Consulting Heritage Architect has noted that council has supported similar designs previously where they have been well executed and reproduced to an appropriate scale and form. The Consulting Heritage Architect notes the amended plans submitted to address the original feedback achieves a well executed design and an appropriate scale and form. The fencing is considered appropriate when compared to the streetscape. The fencing will balance out the much taller and longer rendered fence/wall at 94 Cheltenham Street.
Chimney locations not shown on elevations.	<ul style="list-style-type: none"> The representor has noted there are more fireplaces on the floor plan than number of chimneys on the roof. Where a chimney is not illustrated the fireplace will be flued. A flue is not a structural element and therefore has been omitted from the elevations.

The development may create a concrete bunker with minimal air circulation. Concerns regarding energy efficiency.	<ul style="list-style-type: none"> The dwelling has been designed utilising passive design techniques, capitalising on the access to northern light. Other energy efficiency elements will be considered against the Building Code of Australia. The roof design provides a central flat lowered section where future solar panels will go that won't be visible from street level.
--	--

(* denotes non-valid planning considerations)

9. DEVELOPMENT DATA

Site Characteristics	Single storey detached dwelling	Development Plan Provision
Floor Area		
Ground Floor	657.58m2	
Site Coverage		
Building Footprint	657.58m2 (57%)	□ 50% of site
Floor Space Ratio	0.57:1	0.7:1
Total Building Height		
Wall height	3.6m	
Roof height and pitch	6.1m (35 and 27 degree pitch)	
Setbacks		
Ground Floor		
Front boundary (west)	6.7m	N/A
Side boundary (north)	3.7m	4m
Side boundary (south)	1.2m	3m
Rear boundary (east)	3.2m	8m
Wall on Boundary		
Location	Garage (eastern boundary)	
Length	8.65m	8m
Height	3.0m	3m
Private Open Space		
% accessed from living room	50%	□ 10%
Dimensions	Achieved	□ 4m minimum
Total	316.8m2 (27%)	□ 20%
Car parking and Access		
On-site Car Parking	4	2 per dwelling
On-street Parking	ample	0.5 per dwelling
Driveway Width	3m single	3m Single 5m double
Garage/Carport Width	6.4m	□ 6.5m
Colours and Materials		
Roof	Colourbond shale grey custom orb	

Walls	Brick veneer colourbond surfmist
Fencing	Brush fence and rendered wall (1.8m)

(items in **BOLD** do not satisfy the relevant Design Technique)

10. ZONE & POLICY ASSESSMENT

Zone Desired Character and Principles of Development Control

Residential Historic Conservation Zone
<p>Objective 1: Conservation and enhancement of the heritage values and desired character described in the respective policy areas, exhibited in the pattern of settlement and streetscapes of largely intact original built fabric.</p> <p>Objective 2: A residential zone for dwellings primarily in street-fronting format, together with the use of existing buildings and sites used for non-residential purposes for smallscale local businesses and community facilities supporting an appealing, pleasant and convenient living environment.</p> <p>Objective 3: Retention, conservation and enhancement of contributory items, and the complementary replacement or redevelopment of non-contributory buildings.</p> <p>Objective 4: Sensitive adaptation of contributory items for alternate, small household, living where offering tangible benefit in the retention and refurbishment of such items.</p>
Desired Character
<p>The spacious streetscape character is founded on wide, tree-lined streets, grid street layout (with axial views focussed on the central oval feature in 'New Parkside') and generous front gardens. Intrinsic to the area is an extensive, intact collection of contributory items including distinctive Victorian and Turn of- the-Century villas (asymmetrical and symmetrical), double-fronted cottages and limited complementary, Inter-war era, styles. More affluent, original owners developed some larger, amalgamated allotments in the southern areas establishing grander residences and gardens.</p> <p>Development will:</p> <ul style="list-style-type: none"> (a) conserve contributory items, in particular symmetrical and asymmetrical villas of Victorian and Turn-of-the-Century era and double-fronted cottages; and (b) be of a street-fronting dwelling format, primarily detached dwellings; and (c) maintain or enhance the predominant streetscapes and regular road and allotment patterns with: <ul style="list-style-type: none"> (i) dwelling sites typically of 15 metres in street frontages and with site areas of 750 square metres; and (ii) front set backs of some 7 metres; and (iii) side setbacks of between 1 metre and 3 metres so as to maintain a total spacing between neighbouring dwelling walls, of some 4 metres; and (d) maintain and respect important features of architectural styles of contributory items having typically:

<p>(i) building wall heights in the order of 3.6 metres; and</p> <p>(ii) total roof heights in the order of 5.6 metres or 6.5 metres; and</p> <p>(iii) roof pitches in the order of 27 degrees and 35 degrees.</p>
<p>Assessment</p> <p>The Desired Character for the Zone places emphasis on maintaining the predominant streetscape and regular road patterns. Whilst Objective 3 and the Desired Character identify the need for the retention, conservation and enhancement of Contributory items previously approved development application 090/510/2016/C2 makes way for a new dwelling on the site.</p> <p>The proposed development has been designed to complement existing adjoining dwellings and the streetscape. The garage design has improved over the course of the assessment to reduce its visual presence, complement the form and appearance of the dwelling and is appropriately located behind the main wall of dwelling so as not to diminish the visual impact of the dwelling.</p> <p>The wall, roof heights and pitches have been designed to meet the Desired Character outcomes within the Development Plan.</p>

Relevant Zone Principles of Development Control	Assessment
<p><i>PDC 2</i> <i>Development should comprise:</i> <i>(e) replacement of a non-contributory building or site detracting from the desired character with respectful and carefully designed building(s).</i></p>	<p>The existing dwelling has been approved to be demolished (090/510/2016/C2). The proposed new dwelling has been carefully designed in form and scale to respect the existing character.</p>
<p><i>PDC 7</i> <i>A non-contributory building and its site should be brought into conformity with the desired character, or otherwise consistent with a prevailing, character of the locality at every opportunity through:</i></p> <p><i>(a) demolition and redevelopment of the whole of such buildings on their sites; or</i> <i>(b) removing elements, features or materials of the building, and/or its outbuilding(s) as well as fencing, that detract from the desired character; or</i></p>	<p>The whole site is being demolished and redeveloped.</p> <p>As part of the application the existing brush and hedge fence along both street frontages is being removed and replaced. The existing hedge, which is approximately 2.1m in height, is considered to be a positive aspect of the existing site. However, its removal does provide opportunity for a reduced height fence which will allow improved visibility of the dwelling when viewed from the two street frontages as sought by the Development Plan.</p>
<p><i>PDC 10</i> <i>10 Buildings should be of a high quality contemporary design and not replicate historic styles. Buildings should nonetheless suitably reference the</i></p>	<p>The dwelling design and its finish is of a high quality. However, the dwelling does attempt to replicate historic styles which in this case is considered acceptable based</p>

Relevant Zone Principles of Development Control	Assessment
<p><i>contextual conditions of the locality and contribute positively to the desired character, particularly in terms of:</i></p> <p><i>(a) scale and form of buildings relative to their setbacks as well as the overall size of the site; and</i></p> <p><i>(b) streetscape setting or the characteristic pattern of buildings and spaces (front and side setbacks), and gaps between buildings; and</i></p> <p><i>(c) primarily open front fencing and garden character and the strong presence of dwellings fronting the street.</i></p>	<p>on other similar designs that Council has supported previously.</p> <p>The scale, height, bulk, roof pitches, materials and colours are all considered to be elements that will fit in with the existing streetscape character.</p> <p>The proposal does not propose open fencing. However, the fencing proposed (1.8m in height) is lower than the property currently has (approximately 2.1m along the Cambridge Terrace frontage) which will result in more of the dwelling being visible when viewed from the two street frontages than is currently the case.</p> <p>The original proposal included 2.1m high boundary fencing which was not supported by Council's Consulting Heritage Architect. He was accepting of a reduction in the boundary fence to 1.8m as this is more compatible with existing fencing within the streetscape and relevant policy.</p> <p>On this basis the lack of open front fencing is considered to be acceptable.</p>
<p>PDC 13 13 A carport or garage should form a relatively minor streetscape element and should:</p> <p><i>(b) where attached to the dwelling be sited alongside the dwelling and behind the primary street façade, and adopt a recessive building presence. In this respect, the carport or garage should:</i></p> <p><i>(i) incorporate lightweight design and materials, or otherwise use of materials complementing the associated dwelling; and</i></p> <p><i>(ii) be in the form of a discrete and articulated building element not integrated under the main</i></p>	<p>The garage is setback behind the Cheltenham Street façade of the dwelling as sought.</p> <p>The garage design has been amended to make it more simple in appearance by removing decorative detail and reducing the wall height and overall roof height. This reduces the presence of the garage when viewed from the street.</p> <p>The garage is 6.4m in width and located on the length of the dwelling façade that is 37m in total length with the dwelling and garage combined. This is considered to be a minor element relative to the dwelling façade when viewed from Cheltenham Street.</p> <p>The garage is located on the boundary for a length of 8.65m. PDC 13(b)(iv) seeks only minor carports be located on</p>

Relevant Zone Principles of Development Control	Assessment
<p><i>roof of the dwelling, nor incorporated as part of the front verandah on any other dwelling form where attached alongside the dwelling; and</i></p> <p><i>(iii) have a width which is a proportionally minor element relative to the dwelling façade and its primary street frontage; and</i></p> <p><i>(iv) not be sited on a side boundary, except for minor scale carports and only where the desired building setback from the other side boundary is achieved.</i></p>	<p>boundaries, due to their open nature, and where the other side setback is met. The dwelling is setback 6.77m from the western (opposite), Cambridge Street, property boundary.</p> <p>The eastern adjoining neighbour was notified about the application as part of the category 2 public notification process and did not submit a representation in relation to the garage.</p> <p>The representor raised the garage located on the boundary as a concern with the application. The applicant correctly points out that the garage won't unreasonably overshadow the eastern property that will still be able to achieve the solar access requirements with it's main open space area located to the rear and on the eastern side of their dwelling. It is also noted that the adjacent eastern neighbour has their dwelling located in close proximity to the existing boundary fence, therefore the neighbour does not have an open space area adjacent to the garage on their property.</p> <p>A review of the locality shows some examples of carport/garages located on, or close to, property boundaries.</p> <p>PDC 13(b)(iv) is not achieved by the application however the impact of the garage is considered to be reasonable in this context.</p>
<p>PDC 15 15 Fencing of the primary street frontage and the secondary street on corner sites, forward of the front façade of the dwelling, should complement the desired character, and be compatible with the style of the associated dwelling and its open streetscape presence, and comprise:</p> <p><i>(b) on dwelling sites in excess of 16 metres street frontage - low and essentially open-style fencing but may also include a</i></p>	<p>The proposed fencing, a combination of rendered fence, for privacy adjacent to the swimming pool, and brush fencing is 1.8m in height. This was reduced from 2.1m during the assessment process.</p> <p>The 1.8m height is considered acceptable in the context of existing boundary fences in the locality by Council's Consultant Heritage Architect and is appropriate in style and height with the architectural style of the proposed dwelling and is therefore considered acceptable.</p>

Relevant Zone Principles of Development Control	Assessment
<i>masonry pier and plinth fence with decorative open sections of up to 1.8 metres in total height, provided that, for contributory items, the fencing should be of a style and height appropriate to that historically associated with the architectural style of that dwelling.</i>	

Relevant Council Wide Objectives and Principles of Development Control

An assessment against the relevant Council Wide Provisions is provided below.

Relevant Council Wide Provisions	Assessment
Energy Efficiency	
PDC 2 Energy efficient designed buildings	<p>The dwelling has been well designed to maximise access to winter sun and allow cross ventilation and natural cooling.</p> <p>The representor raised concerns about air circulation, use of sustainable materials and energy ratings of the dwelling. The dwelling allows for future solar panels on the centre of the roof, provides good ventilation through the dwelling from the alfresco to the entry and sliding doors next to the living room and ideal northern orientation to the main living space.</p> <p>The dwelling is considered to satisfy the energy efficiency requirements of the Development Plan.</p>
Residential Development	
PDC 5 <i>Street and boundary setbacks</i>	<p>The generous dwelling setbacks provide a good amount of separation from the property boundaries reducing the bulk and scale of the built form and create an open streetscape.</p> <p>The front setback to Cambridge Terrace sits in line with the adjoining southern dwelling providing uniformity of built form within the street.</p>
PDC 7 <i>Secondary street dwelling setback</i>	A 4m secondary street setback to Cheltenham Street is sought for the proposal with 3.7m proposed. The existing dwelling is setback approximately 1m from the

Relevant Council Wide Provisions	Assessment
	Cheltenham Street property boundary at present. The shortfall of 300mm is considered to be minor in the context of the site and when considering the existing situation is an improvement.
<p><i>PDC 8</i> <i>Garage setbacks</i></p>	<p>PDC 8(c) seeks a 5.5m setback for the proposed garage, which is also required for a third on-site carpark space (Table Un/5). The garage is setback 5.5m from Cheltenham Street and therefore the application provided 4 on-site car parking spaces, satisfying Table Un/5.</p>
<p><i>PDC 13</i> <i>Except where specified in a relevant zone or policy area, dwelling setbacks from side and rear boundaries should be progressively increased as the height of the building increases to minimise overshadowing impacts to adjoining properties and should be in accordance with the following parameters:</i> <i>Building height 4-7m, site area over 300m² – minimum side boundary setback 3m and rear setback 8m</i></p>	<p>The dwelling is setback 1.2m from the southern (side) boundary, 3.2m from the eastern (rear) boundary and 3.7m from the northern (side) boundary.</p> <p>The southern (side) setback shortfall of 1.8m is considered acceptable as the southern neighbour will retain adequate access to solar energy to the property measured on 21 June.</p> <p>The eastern (rear) setback of 3.2m for the dwelling is well short of the 8m requirement however this is more relevant for non-corner sites to provide built form separation. For a corner site it is considered more important to have the built form setback from street frontages which results in closer rear and side setbacks than envisaged. The impact of this is acceptable as the eastern property has the dwelling located in close proximity to the property boundary and therefore the new dwelling will not result in a significant amount of additional overshadowing impacts considering the boundary fence is already having a similar impact.</p> <p>The northern (side) setback at 3.7m for a small portion of the dwelling, with the rest of the dwelling exceeding the 4m requirement, is considered minor and acceptable.</p> <p>The setbacks proposed are considered appropriate.</p>
<p><i>PDC 17</i> <i>Roofed buildings (excluding verandahs and eaves up to 2 metres in width or garden</i></p>	<p>The proposed dwelling and structures cover 57% of the site area which exceeds the 50% sought by PDC 17(a). This increase in site coverage is considered minor in the context</p>

Relevant Council Wide Provisions	Assessment
<p><i>structures up to 10 square metres in area) should:</i></p> <p><i>(a) cover no more than 50 percent of the area of the site (excluding the area of the handle of a hammerhead allotment, any right of way or any shared driveway access)</i></p> <p><i>(b) together with the impervious areas (private driveways, car parking spaces, paths and outdoor entertainment areas) cover no more than 70 percent of the site.</i></p>	<p>of the well designed development which will give a feeling of space when viewed from the adjacent streets due to the setbacks of the dwelling proposed.</p> <p>The impervious areas cover approximately 72% of the subject site. The 2% shortfall is considered minor and acceptable in the context due appropriate landscaping that is proposed.</p>
<p>PDC 20 <i>Private open space should be provided for each dwelling and sited and designed to be:</i></p> <p><i>(a) located adjacent or behind the primary street facing building facade and be exclusive of storage areas, outbuildings, carports, driveways, parking spaces and roofed pergolas and associated structures;</i></p> <p><i>(b) screened from public areas and adjoining properties with fencing of not less than 1.8 metres above finished ground level;</i></p> <p><i>(c) sited to receive direct winter sunlight;</i></p> <p><i>(d) of sufficient area with a minimum of 20 percent of the site area (>300 square metre site area per dwelling) and 35 square metres</i></p>	<p>The primary areas of private open space are located within the front yard and secondary street setback area.</p> <p>The private open space areas will be private due to the 1.8m boundary fence which extends around the perimeter of the property.</p> <p>A total of 316m² private open space is proposed which equates to 27% of the site.</p> <p>The majority of the private open space area has a minimum dimension of 4m, with a small section located north of the dining room providing a 3.7m dimension which is considered acceptable.</p> <p>Overall, in relation to private open space the development satisfies the Development Plan.</p>

Relevant Council Wide Provisions	Assessment
<p>(:s3QQ square metres site area per dwelling) within a residential zone and 20 square metres for each site within a non-residential zone;</p> <p>(e) useable for residents and visitors with a minimum of 4 metres (residential zone) and 1 zone) in any one direction, a maximum grade of 1:10, and directly accessible from a habitable room.</p>	
<p>PDC 30 <i>Outbuildings and like structures should be sited and designed to be ancillary to the dwelling and not visually dominate the locality by having:</i></p> <p>(a) a maximum wall height of 3 metres and roof height of 5 metres (sited at least 2 metres from the side boundary) above ground level;</p> <p>(b) a maximum wall length of 8 metres for solid walls and 12 metres for open-sided structures (including all other boundary walls) or no longer than 50 percent of the boundary length behind the front face of the dwelling, whichever is the lesser amount;</p> <p>(c) a total floor area not exceeding 80 square metres or 10 percent of the site, whichever is the lesser amount.</p>	<p>The garage located on the eastern boundary has a wall height of 3.0m.</p> <p>The length of the garage on the boundary is 8.65m which exceeds the 8m requirement. The additional 0.65m length on the boundary is not considered to be significant and is therefore reasonable.</p> <p>The garage is 58 square metres in area, under the 80 square metres sought by PDC 30(c).</p> <p>The impact of the garage located on the boundary for an additional length of 0.65m is considered minor and satisfies PDC 30.</p>

Relevant Council Wide Provisions	Assessment
<p><i>PDC 47 Garages and carports should have minimum internal dimensions in accordance with the following parameters:</i></p> <p><i>(b) 5.8 metres by 6 metres for two vehicles.</i></p>	<p>The internal garage dimensions exceed the requirements of PDC 47.</p>
<p><i>PDC 50 Swimming pools, outdoor spa baths and ancillary equipment and structures should be designed and located so as to protect the privacy and visual and acoustic amenity of adjoining residential occupiers and should be constructed in accordance with the following parameters:</i></p> <p><i>(a) located at least 1.5 metres from any adjoining residential property boundary;</i></p> <p><i>(b) ancillary pool and spa equipment is located within a sound attenuated enclosure and located at least 5 metres from a habitable room window in an adjoining residential building;</i></p> <p><i>(c) have a maximum finished height above ground level of 0.5 metres for in-ground pools/spas and 1.5 metres for above-ground pools/spas.</i></p>	<p>The proposed swimming pool achieves the outcomes sought by PDC 50.</p>

11. CONCLUSION

In summary, the application is not considered to be seriously at variance with the Development Plan and is considered to satisfy the provisions of the Development Plan for the following reasons:

- The proposed dwelling is imitative of a Turn-of-the Century villa which in this case is acceptable as the design is well-executed and reproduces appropriate

scale and form to complement existing adjoining dwellings and the streetscape;

- The proposal is an orderly and desirable form of development within the Residential Historic (Conservation) Zone, which envisages single storey detached dwellings;
- Council's Consultant Heritage Architect is accepting of the design and overall development from a heritage and character perspective;
- The design and siting of the proposed development would not adversely impact upon the amenity of neighbouring properties, in terms of visual impact and access to natural light; and
- The front and side fencing, whilst not open in nature, will result in more of the dwelling being visible from the street frontages than is currently the case, the 1.8m height will provide privacy for the swimming pool and private open space areas.

The application is therefore recommended for Development Plan CONSENT.

12. RECOMMENDATION

MOVED:

SECONDED:

That Development Application 090/837/2020/C2 at 95 Cambridge Terrace, Malvern SA 5061 to construct single storey detached dwelling with cellar, swimming pool, verandahs, fencing and a garage on common boundary is not seriously at variance with the provisions of the City of Unley Development Plan and should be GRANTED Planning Consent subject to the following conditions:

DEVELOPMENT PLAN CONSENT DETAILS OF DECISION:

1. The Development herein approved shall be undertaken in accordance with all plans, drawings, specifications and other documents submitted to Council and forming part of the relevant Development Application except where varied by conditions set out below (if any) and the development shall be undertaken to the satisfaction of Council.
2. The construction of the crossing place(s)/alteration to existing crossing places shall be carried out in accordance with any requirements and to the satisfaction of Council at full cost to the applicant. All driveway crossing places are to be paved to match existing footpath and not constructed from concrete unless approved by council. Refer to council web site for the City of Unley Driveway Crossover specifications <https://www.unley.sa.gov.au/forms-and-applications#>
3. That the existing crossovers shall be closed and reinstated with kerb and water table in accordance with Council requirements, and at the applicant's expense, prior to occupation of the development.
4. All stormwater from the building and site shall be disposed of so as to not adversely affect any properties adjoining the site or the stability of any building on the site. Stormwater shall not be disposed of over a crossing place.

5. That waste water from the swimming pool shall be discharged to the sewer, and not be allowed to flow onto adjoining properties or the street water table under any circumstances.
6. That ancillary pool and/or spa equipment shall be entirely located within a sound attenuated enclosure prior to the operation of said equipment. Noise generated from ancillary pool and/or spa equipment must not exceed the maximum noise level recommended by the EPA.

For this purpose, noise generated from ancillary pool / spa equipment shall not exceed 52 db (a) between 7am and 10pm and 45db (a) between 10pm and 7am on any day, measured from a habitable room window or private open space of an adjoining dwelling.

NOTES PERTAINING TO DEVELOPMENT PLAN CONSENT:

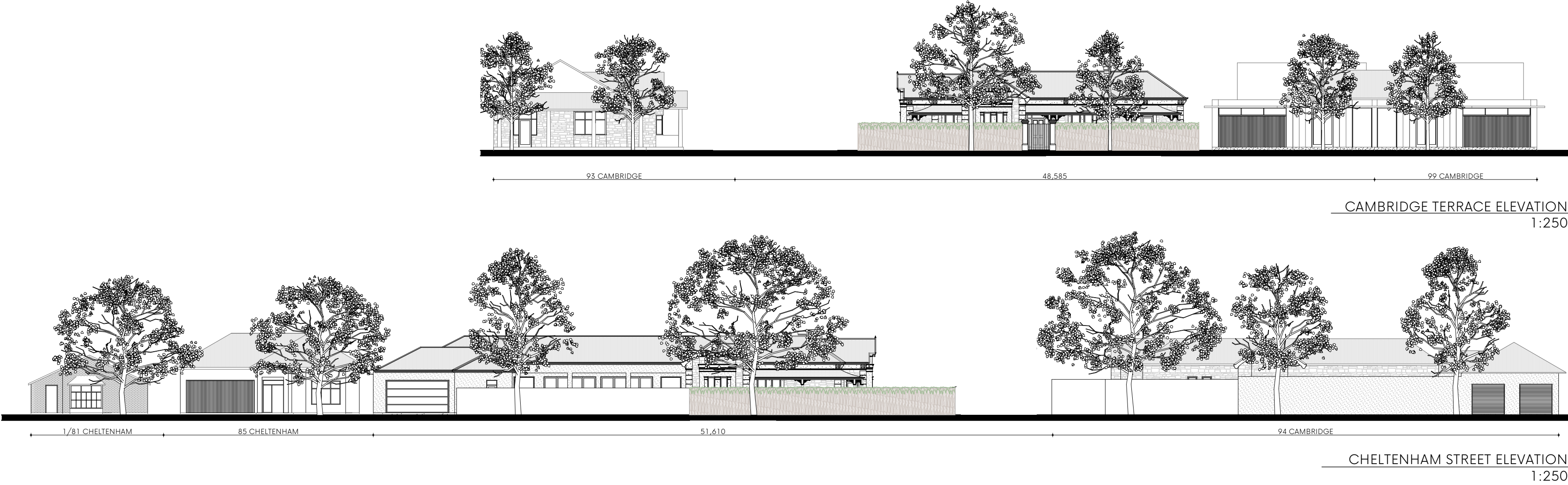
- That any damage to the road reserve, including road, footpaths, public infrastructure, kerb and guttering, street trees and the like shall be repaired by Council at full cost to the **applicant**.
- It is recommended that as the applicant is undertaking work on or near the boundary, the applicant should ensure that the boundaries are clearly defined, by a Licensed Surveyor, prior to the commencement of any building work.
- The applicant is reminded of the requirements of the Fences Act 1975. Should the proposed works require the removal, alteration or repair of an existing boundary fence or the erection of a new boundary fence, a 'Notice of Intention' must be served to adjoining owners. Please contact the Legal Services Commission for further advice on 1300 366 424 or refer to their web site at www.lsc.sa.gov.au.
- The granting of this consent does not remove the need for the applicant to obtain all other consents that may be required by other statutes or regulations. The applicant is also reminded that unless specifically stated, conditions from previous relevant development approvals remain active.

List of Attachments		Supplied By:
A	Application Documents	Applicant
B	Representations	Administration
C	Response to Representations	Applicant
D	Consultant Architect Referral Comments	Administration

ATTACHMENT A

FERGUSON RESIDENCE
95 CAMBRIDGE TERRACE, MALVERN





DESIGN CONTEXT REPORT

MATERIALS & FINISHES OF ADJOINING DWELLINGS

No 85 CHELTENHAM
c 2000 ASYMMETRICALLY FRONTED DWELLING

- MASONRY SANDSTONE WALL WITH A MODERN SEAMLESS FINISH
- WALL HEIGHT 3 TO 3.3M
- CORRUGATED IRON HIPPED ROOF WITH PORTICO FRONT, 30° PITCH
- ALUMINIUM FRAMED WINDOWS, SILVER FINISH.
- TIMBER PANEL LIFT GARAGE DOOR TO HALF OF FRONT FACADE, FRONT PORTICO AND WINDOW TO OTHER HALF
- BRUSH FENCE WITH STONE PIERS AND OPEN BLACK ALUMINIUM GATE

No 94 CHELTENHAM
RHC CONTRIBUTORY ITEM
c 1880 ASYMETRICALLY FRONTED CORNER VICTORIAN VILLA

- MASONRY SANDSTONE WALL WITH MOULDED RENDER DETAILING AND QUOINS
- WALL HEIGHT 3.6M
- CORRUGATED IRON HIPPED ROOF WITH GABLE FRONT TO CHELTENHAM AND CAMBRIDGE, 35° PITCH
- TIMBER FRAMED WINDOWS, PAINTED FINISH
- FLAT VERANDAH TO FRONT CORNER WITH DECORATIVE POSTS
- GARAGE ON SIDE AND FRONT BOUNDARY WITH TIMBER PANEL LIFT DOORS.
- 2.7M SOLID RENDERED WALL TO CHELTENHAM FRONTAGE, 2.7M HEDGE TO CAMBRIDGE FRONTAGE

No 97 & 99 CAMBRIDGE
c 2011 ASYMMETRICALLY FRONTED SEMI-DETACHED DWELLING

- RENDERED WALL, PAINTED FINISH
- WALL HEIGHT 3 TO 3.6M TO FRONT, 6.5M TO REAR (2 STOREY)
- CORRUGATED IRON HIP ROOF TO FRONT (35° PITCH), PARAPET ROOF TO GARAGE AND REAR
- ALUMINIUM FRAMED WINDOWS, SILVER FINISH
- FLAT MODERN VERANDAH TO FRONT
- SANDSTONE FENCE WITH OPEN BLACK ALUMINIUM GATE

No 93 CAMBRIDGE
RHC CONTRIBUTORY ITEM
c 1900 QUEEN ANNE VILLA

- MASONRY SANDSTONE WALL WITH BRICK AND BLUESTONE BANDING
- WALL HEIGHT 3.6M
- CORRUGATED IRON HIPPED ROOF WITH GABLE FRONT TO CHELTENHAM AND CAMBRIDGE, 35° PITCH
- TIMBER FRAMED WINDOWS, PAINTED FINISH
- BUNGALOW STYLE VERANDAH TO FRONT
- BRUSH FENCE WITH IVY TO PERIMETER, TIMBER GATE TO CARPORT ENTRY ON BOUNDARY

MATERIALS & FINISHES OF PROPOSED DWELLING

No 95 CAMBRIDGE

- MASONRY BLUESTONE WALL WITH MOULDED RENDER DETAILING AND QUOINS. RENDERED FINISH TO OUTDOOR ALFRESCO AREA (COLOUR | NATURAL WHITE)
- WALL HEIGHT 3.6M
- CORRUGATED IRON HIPPED ROOF WITH GABLE FRONT TO CHELTENHAM AND CAMBRIDGE, 35° PITCH (COLOUR | MONUMENT). 27° PITCH TO REAR PORTION OF DWELLING.
- TIMBER FRAMED WINDOWS, PAINTED (COLOUR | NATURAL WHITE). ALUMINIUM FRAMED WINDOWS RENDERED ELEVATIONS.
- CORRUGATED IRON CONCAVE VERANDAH WITH DECORATIVE POSTS AND LACEWORK
- 2.05M SOLID RENDERED WALL TO CHELTENHAM FRONTAGE (COLOUR | SHALE GREY), MAINTAIN EXISTING HEDGE TO CAMBRIDGE FRONTAGE

MATERIALS & FINISHES OF PROPOSED DWELLING

No 95 CAMBRIDGE

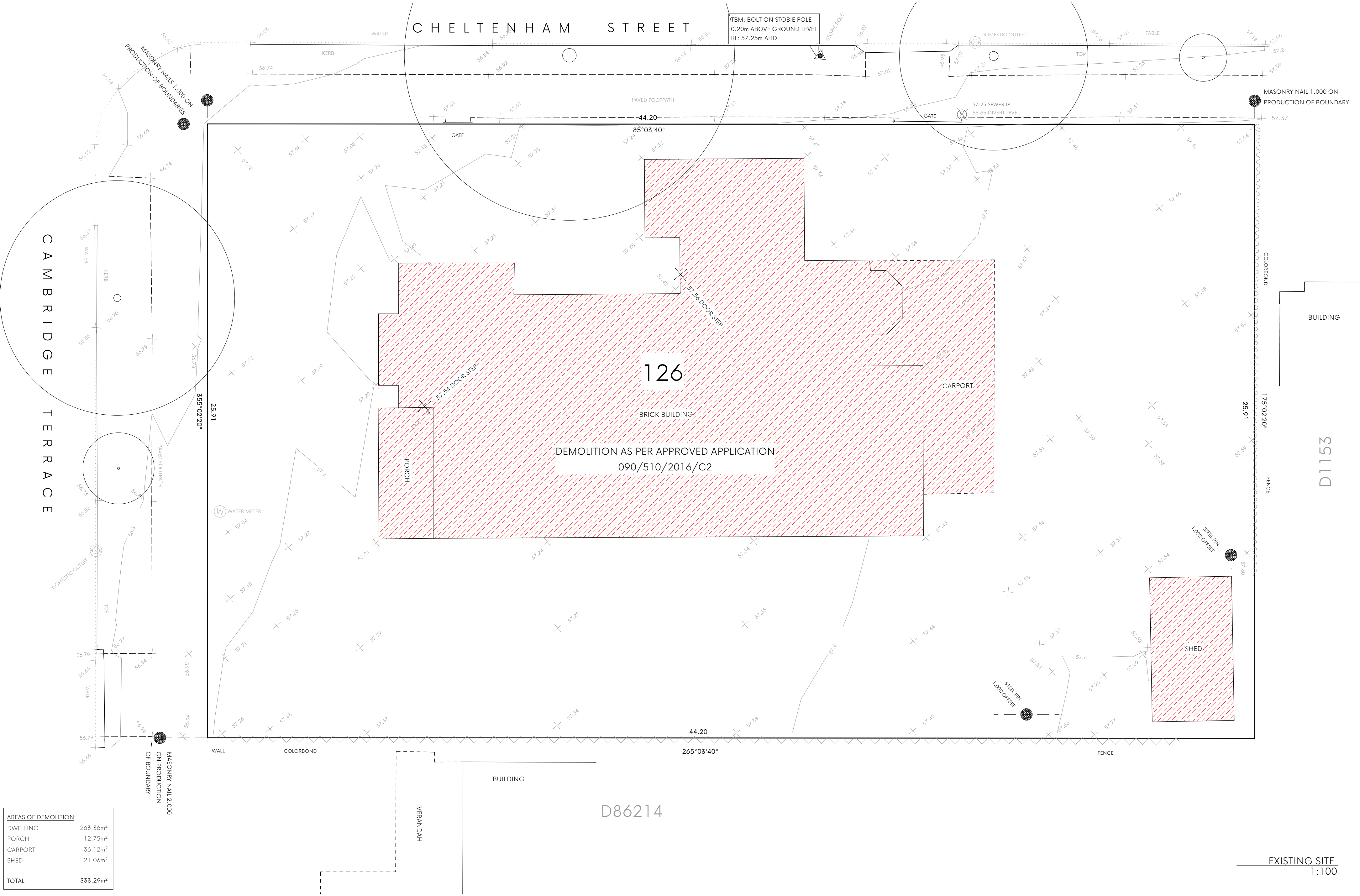
- WALL HEIGHT CONSISTENT WITH DWELLINGS OF CONTRIBUTORY DWELLINGS
- HIPPED ROOF FORM WITH GABLES AND CONCAVE VERANDAH MAINTAIN SCALE & FORM OF RHC ZONE
- TRADITIONAL DESIGN FEATURES OF THE WIDER STREET PATTERN INTERPRETED (STONE FACADE, RENDERED MOULDING AND QUOINS, TIMBER FACIA AND BATTENED EAVES, TALL NARROW PROPORTIONED TIMBER WINDOWS & DOORS, FEATURE CHIMNEYS)
- YARD SPACE PROVIDED TO NORTH AND WEST FRONTAGES OF ALLOTMENT TO MAXIMISE SOLAR ENTRY AND PROVIDE VISUAL OPEN SPACE TO BOTH STREETSCAPES
- GARAGE & DRIVEWAY LOCATED ALONG SECONDARY STREET, REDUCING CROSSOVERS ON BOTH FRONTAGES TO ONE CROSSOVER TO THE REAR OF THE PROPERTY
- ONE STOREY DWELLING PROVIDING A LOW SCALE BUILT FORM
- RENDERED WALL TO MAIN PRIVATE OPEN SPACE TO REDUCE STREET & TRAFFIC NOISE AND PROVIDE PRIVACY TO NORTHERN FACING OUTDOOR SPACE.

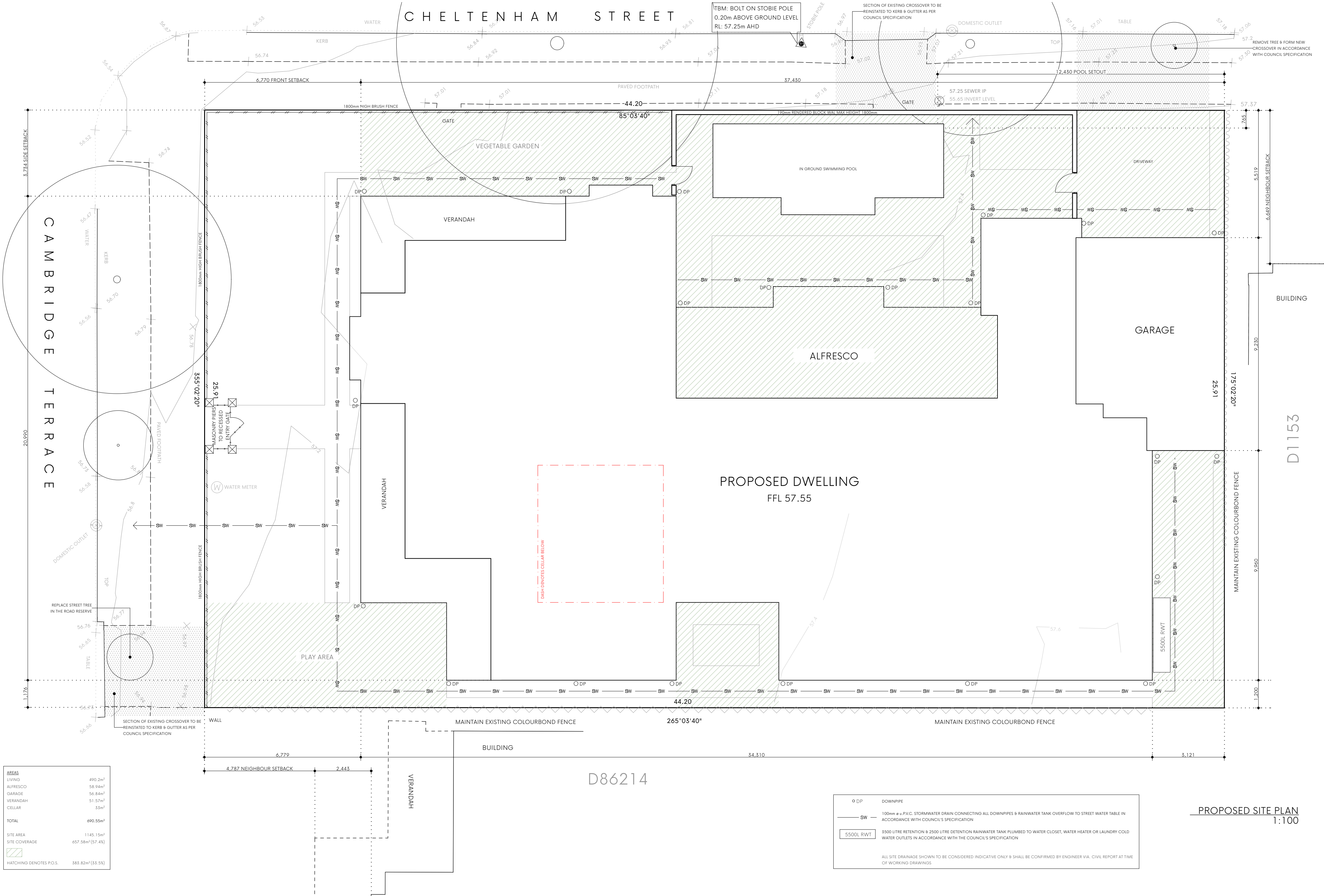


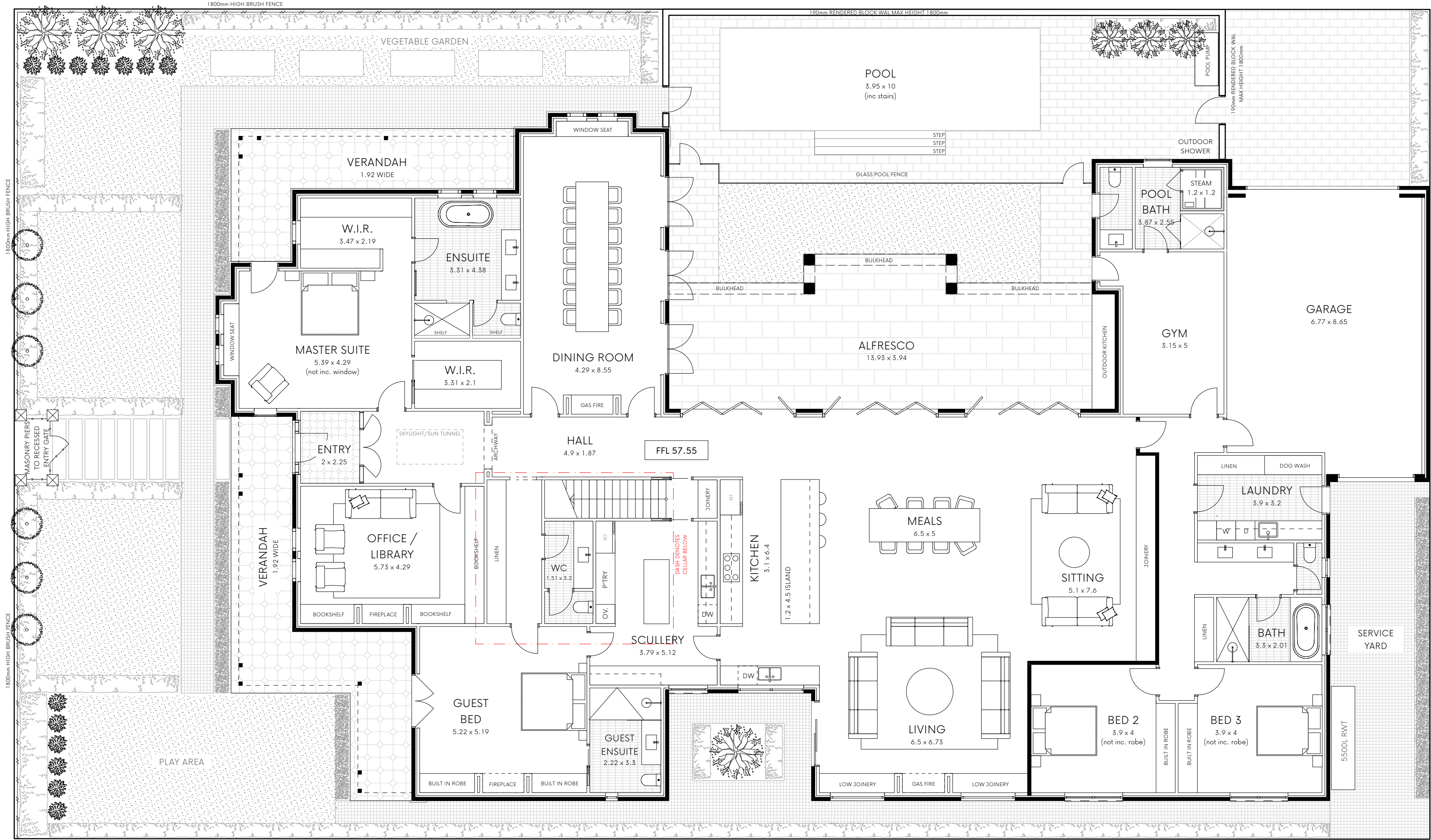
LOCALITY PLAN

1:250

 HERITAGE BUILDING GROUP	CLIENT A. & D. FERGUSON	ISSUE PLANNING	DRAWING TITLE DESIGN CONTEXT REPORT	1:250 @ A2	SHEET: 01 / 06	HERITAGE BUILDING GROUP © 2020 53A BROADWAY, GLENELG SOUTH SA 5048 hello@heritagebg.com.au P +61 (8) 8295 8835
	SITE ADDRESS 95 CAMBRIDGE TERRACE, MALVERN	PROJECT SINGLE STOREY DWELLING WITH CELLAR + POOL	DATE 23.02.2021			



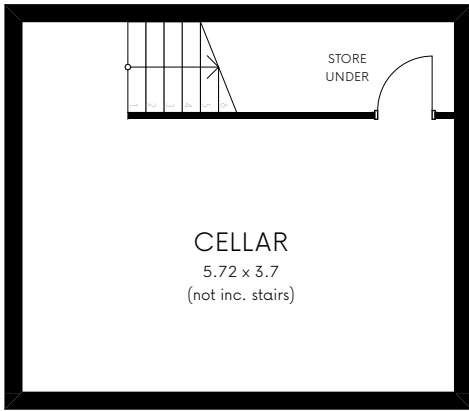









MAINTAIN EXISTING COLOURBOND FENCE

MAINTAIN EXISTING COLOURBOND FENCE

GROUND FLOOR PLAN
1:100

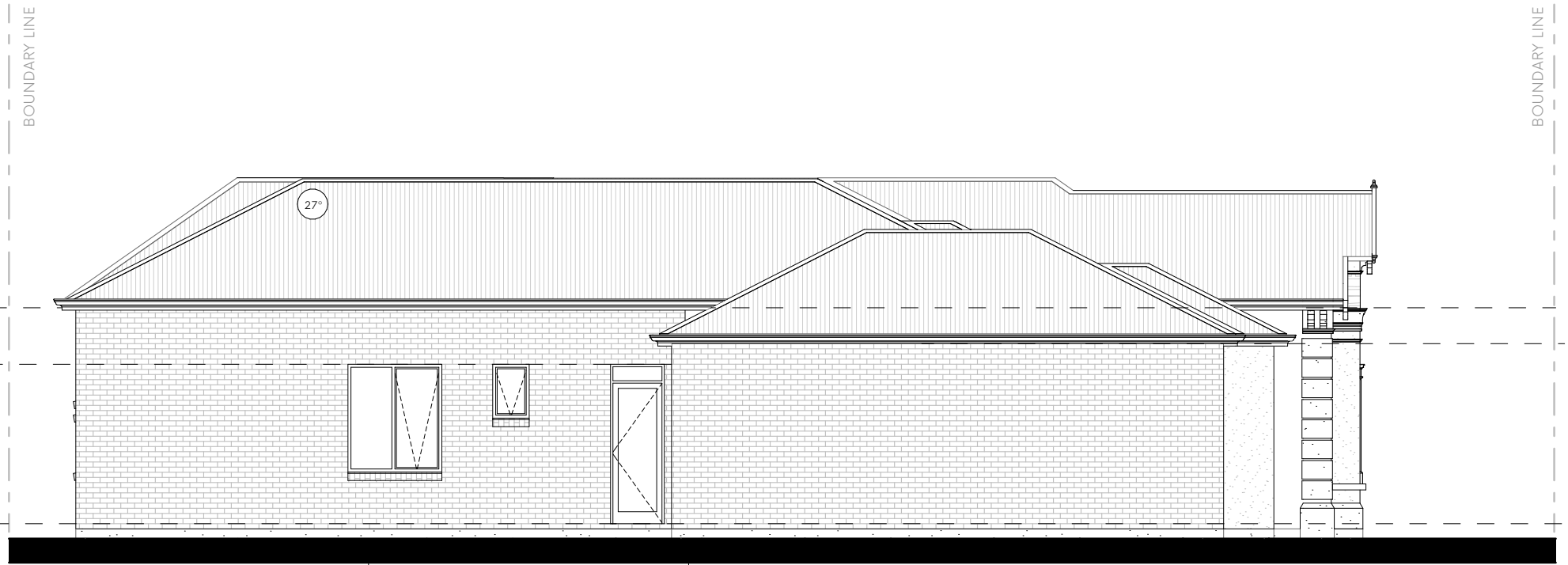


CELLAR
1:100

LANDSCAPING SCHEDULE			
SYMBOL	SPECIES	COMMON NAME	
1. 	TREES SCREEN PLANTS 1. PRUNUS Cerasifera 2. CUPANIOPSIS ANACARDIOIDES	CRIMSON SPIRE	
2. 		TUCKEROO	
1. 	SHRUBS GROUNDCOVERS 3. RHAPHIOLEPIS INDICIA 4. ROSMARINUS 5. STENOTAPHRUM SECUNDATUMIN	ORIENTAL PEARL	
2. 		BLUE LAGOON	
3. 		BUFFALO GRASS	



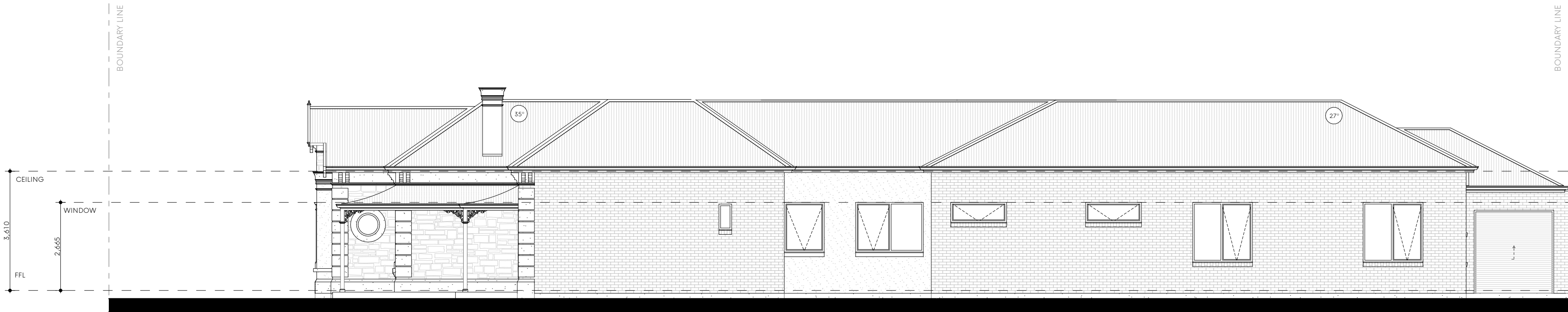
WEST ELEVATION
1:100



EAST ELEVATION
1:100



NORTH ELEVATION
1:100



SOUTH ELEVATION
1:100

FINISHES SCHEDULE

- WALLS:**
- BRICK-VENEER WALL CONSTRUCTION.
 - WEST & NORTH ELEVATIONS TO FEATURE KANMANTOO BLUESTONE IN RANDOM ASHLAR LAYING PATTERN.
 - EXPOSED BRICK TO SIDE ELEVATIONS IN LITTLE HAMPTON COACH HOUSE.
 - RENDERED FINISH TO ALFRESCO, GARAGE & COURTYARD (COLOUR: COLOURBOND SURFMIST).
 - PAINTED FINISH TO QUOINS, PLINTH, AND FEATURE MOULDINGS (COLOUR: DULUX NATURAL WHITE).
- ROOF:**
- COLOURBOND CUSTOM ORB ROOF SHEETING TO ALL MAIN PITCHED ROOF FORMS, FLASHINGS AND CAPPINGS (COLOUR: COLORBOND SHALE GREY).
- WINDOWS:**
- WRC SINGLE HUNG WINDOWS TO FRONT ELEVATIONS (FEATURING BLUESTONE) IN WHITE. DOMESTIC FRAME
 - ALUMINIUM AWNING WINDOWS IN BLACK TO REMAINDER.
 - CLEAR GLAZING THROUGHOUT EXCLUDING WET AREAS.
- NOTE: ALL COLOURS & MATERIALS TO BE CONFIRMED BY OWNER PRIOR TO CONSTRUCTION & ARE TO BE CONSIDERED INDICATIVE.



CHEL TENHAM ELEVATION
1:100



CAMBRIDGE ELEVATION
1:100



HERITAGE
BUILDING GROUP

CLIENT
A. & D. FERGUSON

SITE ADDRESS
95 CAMBRIDGE TERRACE, MALVERN

ISSUE
PLANNING

PROJECT
SINGLE STOREY DWELLING WITH CELLAR + POOL

DRAWING TITLE
FENCE ELEVATIONS

DATE
23.02.2021

1:100 @ A2



SHEET:

06 / 06

HERITAGE BUILDING GROUP | © 2020

53A BROADWAY, GLENELG SOUTH SA 5048
hello@heritagebg.com.au
P | +61 (8) 8295 8835

ATTACHMENT B

REPRESENTATION Category 2 (Page 1)

CITY OF UNLEY

13 APR 2021

REF:

To: Chelsea Spangler, City of Unley Development Section

Please read these notes carefully:

1. Both pages **MUST** be completed in full and returned to the City of Unley by the closing date to be a valid representation.
2. This page (ie Page 1) will **NOT** be published on the internet.
3. Pages 1 and 2 (and any attachments) may be included as attachments in the hard copy of the Council Assessment Panel agenda.
4. Please note that in accordance with Section 38(8) of the Development Act 1993, a copy of this representation (Pages 1 and 2 and attachments) will be forwarded to the Applicant for consultation and response.

The **closing date** for Representations is **5pm on 13 April 2021**.

Application: 090/837/2020/C2 95 Cambridge Terrace, Malvern SA 5061

Details of Person(s) making Representation:

Name:

Postal Address:

EMAIL ADDRESS:

Daytime Phone No.

Property affected
by Development

V.J. Ward
(Signature)

13/4/2021.
(Date)

CITY OF UNLEY

13 APR 2021

REF:

REPRESENTATION Category 2 (Page 2)

To: Chelsea Spangler, City of Unley Development Section

1. This page (ie Page 2) and any attachments may be published on the internet and thus be able to be searched via Google and other internet search engines.
2. In accordance with Section 38(8) of the Development Act 1993, a copy of this representation (Pages 1 and 2 and any attachments) will be forwarded to the Applicant for consultation and response.

The closing date for Representations is **5pm on 13 April 2021**.

Application:	090/837/2020/C2 95 Cambridge Terrace, Malvern SA 5061
Property affected by Development	84 Cheltenham Street, Malvern, SA. 5061.

☐ I support the proposed development.

OR (Tick one only)

☒ I object to the proposed development because:

(Please state your reasons so that each planning issue can be clearly identified. Attach extra pages if you wish)

1. Building on boundary (garage): should not be sited on a side boundary except minor scale carports. Amenity (light) of neighboring house severely affected.
2. Buildings should be high quality contemporary design, not replicate historic styles. See plans for identical/copied descriptors. Should have primarily open front fencing and garden character.
3. Chimneys corresponding to fireplaces on plan are missing, as ^{is} the position of required rain water capture/reuse - underground?
4. What may be created here is a bunker with minimal air circulation. With My concerns (if any) could be overcome by: entirely electronically controlled, in event of a power failure, a trap.

Do not build on boundary, to avoid rear utility area becoming a heat trap. Show energy ratings through double-glazing, sustainable materials and construction methods, solar panels and battery storage. Trees for adequate shade. shade.

☐ WISH TO BE HEARD

☐ DO NOT WISH TO BE HEARD

by the Council Assessment Panel

(Tick one box only. If you do not tick either box it will be assumed that you do not wish to be heard by the Council Assessment Panel.)

ATTACHMENT C

29 April 2021

City of Unley
Attention: Ms Chelsea Spangler, Urban Planner
PO Box 1
UNLEY SA 5061

by email – cspangler@unley.sa.gov.au

Dear Chelsea

RESPONSE TO REPRESENTATION

DA Number: DA 090/837/2020/C2
Applicant: Heritage Building Group
Location: 95 Cambridge Terrace, Malvern
Proposal: Single storey detached dwelling including garage, cellar, swimming pool and fencing

1.0 INTRODUCTION

I refer to the recent correspondence dated 20 April 2021 providing a copy of the representation received by Council during the Category 2 public notification period for the above application.

The following outlines the issues raised in the representation and provides a response where warranted.

2.0 CONSIDERATION OF THE REPRESENTATIONS

It is understood that a one (1) written representation was received by Council during the recent Category 2 public notification period.

The Representor expressed opposition to the proposal and identified specific elements of importance to them. The Representor did not specify whether or not they wished to be heard by the Council Assessment Panel, which is generally accepted to mean they do not wish to be heard.

The Representors is identified below.

Representor	Name	Property Affected	Support	To Be Heard
1	Ms V. Ward, Mr C. Mellors	84 Cheltenham St, Malvern.	No	Not specified

The following aerial image illustrates the identified affect property identified by the representors.



The concerns and comments raised are summarised as follows:

- Boundary development should not include a garages except for minor scale carports as access to natural light for neighbours may be affected.
- Building should be high quality contemporary design and not replicate historic styles. Should have primarily open front fencing and garden character.
- Chimney locations not shown on elevations.
- The development may create a concrete bunker with minimal air circulation. Concerns regarding energy efficiency.

(my underlining for clarity of concern)

A response to the issues raised is provided below.



2.1 Boundary Development

The Representor suggested that the garage should not be sited on a side boundary due to the loss of light for the neighbouring dwelling. The Representor suggested that a minor scale carport might be an appropriate form of development on the boundary.

Given the orientation of the allotments and the built form on the adjoining allotment to the east, the proposed development is not considered to overshadow the adjoining dwelling or property to a substantial degree. Adequate provision to natural light will be maintained.

The Development Plan contemplates single storey buildings being constructed on a single side boundary provided the setbacks of the relevant desired character are met on the other side boundary, and the desired gap between the buildings is maintained in the streetscape presentation.

The proposal includes a single wall along portion of the rear boundary. The other setbacks are noted to generally comply with the provision of the Development Plan. The wall has been reduced in both length and height from the initial proposal and provides adequate separation from the adjoining dwelling from a streetscape perspective.

2.2 Contemporary Design vs Replication

The Representor stated that buildings should be of a high-quality contemporary design and not replicate historic styles. This aligns with Principle of Development Control 10 of the Residential Historic Character Zone.

In response to this particular policy Council's Consulting Heritage Architect noted that that Council has in the past supported similar designs where they have been well executed and reproduced at an appropriate scale and form.

The Consulting Heritage Architect suggested that the proposed development is one of these examples, that is, it is well executed and at an appropriate scale and form. A number of revisions were sought and complied with to appease comments made by the Heritage Architect.

The Representor suggested that the proposal should also have an open front fence and garden character. The proposed development includes a 1.8-metre-high brush fence to Cambridge Terrace which continues part way along the Cheltenham Terrace frontage. A 1.8 metre rendered fence is proposed adjacent to the swimming pool and between the crossover and the brush fence.

The fencing is considered appropriate and as evidenced by the streetscape elevations, the fencing will balance out the much taller and longer rendered fence/wall at 94 Cheltenham Street.

2.3 Chimney not shown on the elevations

The Representor noted that there are more fireplaces on the floor plan compared to the number of chimneys on the roof.

Where a chimney is not illustrated, the fireplace is intended to be flued. As flues are not a structure element they have purposely been omitted from the elevations.



2.4 Energy Efficiency

The Representor raised a concern that the proposal may result in a bunker with minimal air circulation. It was suggested that the Applicant provide energy ratings, utilise sustainable materials and make provision for solar panels and the like.

We reaffirm that the dwelling has been designed utilising passive design techniques and seeks to capitalise on access to northern light. Energy efficiency will be one of many elements considered in the assessment against the Building Code of Australia.

The roof design includes the provision for solar panels. The central flat lowered section of the roof will enable the installation of panels and will ensure that they are not visible from street level.

3.0 CONCLUSION

After careful consideration of the issues raised within the representation, it is our view, the application is not 'seriously at variance' with the provisions of the Development Plan and that the proposal exhibits sufficient merit to warrant the issuing of Planning Consent.

I confirm that we will be in attendance at the Council Assessment Panel meeting to respond to any verbal submissions or question from Panel members.

Yours faithfully

Ben Green & Associates

Tom Gregory, RPIA

Senior Associate

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cc Heritage Building Group

ATTACHMENT D

18 January 2021

**Heritage Architect's Comments for 090/837/2020/C2 - 95 Cambridge Terrace,
Malvern SA 5061:**

The design of the replacement dwelling is imitative of a Turn-of-the Century villa. It is inconsistent with Zone PDC 10 which states that new buildings "should be of a high quality contemporary design and not replicate historic styles." Relevant provisions also seek "complementary, rather than inferior reproduction buildings". The emphasis is on conserving and enhancing historic character through retaining genuinely historic buildings and supplementing them with new buildings that are compatible in things such as scale and form but not imitative detail.

I believe therefore that the design of the proposed dwelling should be amended to conform with the intent of this policy.

I am aware however that Council have, in the past, supported similar designs where they have been well-executed and reproduce appropriate scale and form. This is the case with the current proposal.

If Council do support the proposed design, I recommend the following:

Amend the roof colour to a mid-grey such as "Wallaby", "Basalt", "Woodland Grey" or "Windspray" rather than "Monument" to blend with the mid-grey roof finishes of historic dwellings nearby and decrease the relative streetscape impact of the non-historic dwelling.

Reduce the height of the solid wall section in Cheltenham Street from 2.05 metres to 1.8 metres for compatibility with existing fencing in the streetscape and relevant policy.

Strip the mock-historic detail from the garage, reduce its height and separate the garage roof from the main dwelling.

Increase the front Cheltenham Street setback and side setback of the garage.