

CITY OF UNLEY
COUNCIL ASSESSMENT PANEL

Dear Member

I write to advise of the Council Assessment Panel Meeting to be held on Tuesday 21 February 2023 at 6:00pm in the Unley Council Chambers, 181 Unley Road Unley.



Don Donaldson
ASSESSMENT MANAGER

Dated 09/02/2023

KAURNA ACKNOWLEDGEMENT

Ngadlurlu tampinhi, ngadlu Kurna yartangka inparrinhi. Ngadlurlu parnuku tuwila yartangka tampinhi.

*Ngadlurlu Kurna Miyurna yaitya yarta-mathanya Wama Tarntanyaku tampinhi. Parnuku yaitya, parnuku tapa purruna yalarra puru purruna.**

We would like to acknowledge this land that we meet on today is the traditional lands for the Kurna people and that we respect their spiritual relationship with their country.

We also acknowledge the Kurna people as the traditional custodians of the Adelaide region and that their cultural and heritage beliefs are still as important to the living Kurna people today.

*Kurna Translation provided by Kurna Warra Karrpanthi

CITY OF UNLEY

COUNCIL ASSESSMENT PANEL

21 February 2023

MEMBERS:

Mr Brenton Burman
Ms Colleen Dunn
Mr Michael McKeown
Mr Ross Bateup

APOLOGIES:

Nil

CONFLICT OF INTEREST:

CONFIRMATION OF MINUTES:

MOVED:

SECONDED:

That the Minutes of the City of Unley, Council Assessment Panel meeting held on Tuesday 7 February 2023, as printed, and circulated, be taken as read and signed as a correct record.

AGENDA

Apologies
Conflict of Interest
Confirmation of the minutes

Item No	Planning, Development Infrastructure Act Applications	Page
1.	2D Northbrook Avenue, Forestville – 22030507	4-122

Item No	Appeals Against Decision of Assessment Manager (PDI Act)	Page
	Nil	

Item No	ERD Court Compromise Reports - CONFIDENTIAL	Page
	Motion to move into confidence	
	Nil	
	Motion to move out of confidence	

Item No	Council Reports	Page
2.	CAP 2022 Statistics Report	123-126

Any Other Business
Matters for Council's consideration

ITEM 1**DEVELOPMENT APPLICATION - 22030507 – 2D NORTHBROOK AV, FORESTVILLE SA 5035**

DEVELOPMENT NO.:	22030507
APPLICANT:	Eastern Building Group Pty Ltd
ADDRESS:	2D NORTHBROOK AV FORESTVILLE SA 5035
NATURE OF DEVELOPMENT:	Construction of a two-storey detached dwelling and a secondary street fence and retaining wall to a maximum height of 2m
ZONING INFORMATION:	<p>Zones:</p> <ul style="list-style-type: none"> • Established Neighbourhood <p>Overlays:</p> <ul style="list-style-type: none"> • Airport Building Heights (Regulated) • Affordable Housing • Building Near Airfields • Historic Area • Prescribed Wells Area • Regulated and Significant Tree • Stormwater Management • Urban Tree Canopy <p>Technical Numeric Variations (TNVs):</p> <ul style="list-style-type: none"> • Maximum Building Height (Metres) (Maximum building height is 6m) • Minimum Frontage (Minimum frontage for a detached dwelling is 10m) • Minimum Site Area (Minimum site area for a detached dwelling is 300 sqm) • Maximum Building Height (Levels) (Maximum building height is 1 level) • Minimum Side Boundary Setback (Minimum side boundary setback is 1m for the first building level; 3m for any second building level or higher) • Site Coverage (Maximum site coverage is 50 per cent)
LODGEMENT DATE:	8 Sep 2022
RELEVANT AUTHORITY:	Assessment Panel
PLANNING & DESIGN CODE VERSION:	2022.16 - 1 September 2022
CATEGORY OF DEVELOPMENT:	Code Assessed - Performance Assessed
NOTIFICATION:	Yes
RECOMMENDING OFFICER:	Amelia De Ruvo Planning Officer
REFERRALS STATUTORY:	Nil
REFERRALS NON-STATUTORY:	Access & Traffic Street Trees

CONTENTS:

ATTACHMENT 1:	Plan Set and Supporting Document
ATTACHMENT 2:	Representations
ATTACHMENT 3:	Response to Representations

DETAILED DESCRIPTION OF PROPOSAL:

The proposal is for the construction of a two-storey detached dwelling and a combined fence and retaining wall to the secondary street to a maximum height of 2m on a vacant residential allotment. The proposed plans are contained within **Attachment 1**.

The proposed dwelling is of a contemporary design that features front floor to ceiling fenestration, a cantilevered canopy over the front entrance, a recessed upper storey and a pitched roof form. A double garage is located under the main roof at the rear dwelling with secondary street access.

External materials and colour finishes include:

- Walls – face brick (red) and render (grey)
- Roof – Colorbond (shale grey)
- Garage door – timber (shale grey)
- Windows and doors – timber and aluminium (black)

The main front wall of the dwelling at ground level is setback 5 metres from the road boundary, excluding the corner cut-off. The upper storey is setback a further 4.5 metres. The sides of the dwelling are setback 0.980 metres at ground level and 3 metres on both sides at the upper level. The garage is setback 0.6 metres from the rear (west) boundary and the upper storey setback approximately 10 metres.

The dwelling at its highest point is approximately 6.85 metres above existing ground level.

The fence along the secondary street frontage will be a Good Neighbour Colorbond Fence in the colour Woodland Grey with a concrete retaining wall below to a maximum combined height of 2m.

SUBJECT LAND & LOCALITY:

Site Description:

Location Reference: 2D Northbrook Avenue, FORESTVILLE SA 5035

The subject land is a vacant residential allotment located at 2D Northbrook Avenue, Forestville.

The land comprises a single allotment described as Allotment 4 in Deposited Plan 121341 (Certificate of Title Volume 6224 Folio 86). The land is not affected by any easements or encumbrances. The allotment was created at the same time as four other contiguous allotments extending south along Northbrook Avenue.

The allotment is rectangular with a frontage width of around 11.55 metres, a depth of up to 30.84 metres and a total site area of 346m². The land is relatively flat with only minor ground level variances across the site that naturally grades down to the north / to Victoria Street.

There are no Regulated trees on the subject site or on adjoining land.



Figure 1: View of the subject land from Northbrook Avenue



Figure 2: View from the secondary road frontage of the subject land taken from Victoria Street.



Subject Land



Locality



Representor(s)

Locality

The locality is entirely residential in land use and built form character. Existing residential development comprises mostly of single storey detached and maisonette dwellings at low densities, with instances of two storey flats and recent infill development that has significantly altered the original settlement pattern.

Original housing styles such as cottages and bungalows are interspersed with modern interpretations, recent contemporary buildings and older flats that have resulted in a mixed streetscape character.

Buildings along Northbrook Avenue are located quite close to the road boundary with setbacks typically between 3 and 5 metres.

The locality has a relatively pleasant living environment that is of moderate to high amenity.

Train and tram routes are a short walk in an east and west direction and Goodwood Road is a further 300 metres east, which is a main transport route with frequent bus services and the location of local services.



Figure 3: View of the new build contemporary dwellings at 2, 2B and 2C Northbrook Avenue.



Figure 4: View of a Villa at 59 Victoria Street.



Figure 5: View of the Residential Flat building at 67 Victoria Street.

CONSENT TYPE REQUIRED:

Planning Consent

CATEGORY OF DEVELOPMENT:

- **PER ELEMENT:**
New housing
Detached dwelling: Code Assessed - Performance Assessed
Fences and walls
Fence: Code Assessed - Performance Assessed
- **OVERALL APPLICATION CATEGORY:**
Code Assessed - Performance Assessed
- **REASON**
P&D Code

PUBLIC NOTIFICATION

- **REASON**
Established Neighbourhood Zone - Table 5 - Procedural Matter (PM) - Notification - Clause 3(1) does not satisfy DPF 4.1 as the proposed exceeds Maximum Building Height (Metres) of 6m and Maximum Building Height (Levels) of 1 level and requires to be publicly notified.
- **LIST OF REPRESENTATIONS**
8 representations were received in total, with 8 representors requesting to be heard by the Panel.

	Representor Name/Address	Support / Support with Concerns / Oppose	Request to be heard	Represented by
1	[REDACTED]	Oppose	Yes	[REDACTED]
2	[REDACTED]	Oppose	Yes	[REDACTED]
3	[REDACTED]	Oppose	Yes	[REDACTED]
4	[REDACTED]	Oppose	Yes	[REDACTED]
5	[REDACTED]	Oppose	Yes	[REDACTED]
6	[REDACTED]	Oppose	Yes	[REDACTED]
7	[REDACTED]	Oppose	Yes	[REDACTED]
8	[REDACTED]	Oppose	Yes	[REDACTED]

• **SUMMARY**

53 owners and/or occupiers of adjacent land were directly notified and a sign detailing the proposal was placed on the subject land for the duration of the notification period. A copy of the representations provided to Council can be found in **Attachment 2**.

The main concerns raised within the representations are summarised below:

- Impact on streetscape character and development pattern
- Excessive building height
- Siting too close to the street
- Impact of boundary wall

The applicant has provided a detailed response to these concerns.

AGENCY REFERRALS

Nil

INTERNAL REFERRALS

- Access & Traffic
The proposed crossover is supported subject to the suitability of vehicle manoeuvrability and street tree retention.
- Street Trees
Encroachment within 1500mm (thereby facilitating a 4500mm crossover) is supported on the

proviso that excavation between 2000-1500mm is hand-dug (or other non-destructive methods such as water-jetting or hydro vac). It would be my preference to be contacted for inspection should any roots be encountered greater than 750mm in diameter, and otherwise impeding construction completion.

RULES OF INTERPRETATION

The application has been assessed against the relevant provisions of the Planning & Design Code (the Code). The Code outlines zones, subzones, overlay and general provisions policy which provide **Performance Outcomes (POs)** and **Desired Outcome (DOs)**.

In order to interpret Performance Outcomes, the policy includes a standard outcome that generally meets the corresponding performance outcome (**Designated Performance Feature or DPF**). A DPF provides a guide as to what will satisfy the corresponding performance outcome. Given the assessment is made on the merits of the standard outcome, the DPF does not need to be satisfied to meet the Performance Outcome and does not derogate from the discretion to determine that the outcome is met in another way, or from discretion to determine that a Performance Outcome is not met despite a DPF being achieved.

Part 1 of the Code outlines that if there is an inconsistency between provisions in the relevant policies for a particular development, the following rules will apply to the extent of any inconsistency between policies:

- the provisions of an overlay will prevail over all other policies applying in the particular case;
- a subzone policy will prevail over a zone policy or a general development policy; and
- a zone policy will prevail over a general development policy.

PLANNING ASSESSMENT

The application has been assessed against the relevant policies of **the Code**, the extracts generated by the DAP on 8 Sep 2022, which are found at the following link:

[Planning and Design Code Extract](#)

Form of Development

The subject land is situated within the **Established Neighbourhood Zone** of the Code. **DO 1** of the Zone is seeking “a neighbourhood that includes a range of housing types, with new buildings sympathetic to the predominant built form character and development patterns” and **DPF 1.1** lists a dwelling as an envisaged form of the development. The proposal to construct a detached dwelling on an existing residential allotment is therefore a desirable form of development in land use terms.

DO 1 – Established Neighbourhood Zone

A neighbourhood that includes a range of housing types, with new buildings sympathetic to the predominant built form character and development patterns.

PO 1.1 – Established Neighbourhood Zone

Predominantly residential development with complementary non-residential activities compatible with the established development pattern of the neighbourhood.

As the site is within a Historic Area Overlay, new development is required to reinforce and contextually respond to the historic themes and characteristics of the area. As considered below, the proposed built form is supported from a heritage perspective as it has been designed to be sympathetic to the predominant built form character and development pattern of the locality.

DO 1 and **PO 1.1** of the **Established Neighbourhood Zone** are satisfied.

Built Form and Historic Character

The proposed dwelling is of a contemporary design that features front floor to ceiling fenestration, a cantilevered canopy over the front entrance, a recessed upper storey and a pitched roof form. A double garage is located under the main roof at the rear dwelling with secondary street access.

The representations are concerned that the modern building design is not sympathetic to the streetscape attributes identified in the Residential Compact Forestville and Fullarton Historic Area Statement. Whilst **DO 1** and **PO 1.1** of the Historic Area Overlay and the Historic Area Statement identify certain attributes that contribute to the area's historic character, the Desired and Performance Outcomes for the Historic Area Overlay are seeking new development that is "consistent with the prevailing historic characteristics of the historic area".

DO 1 – Established Neighbourhood Zone

A neighbourhood that includes a range of housing types, with new buildings sympathetic to the predominant built form character and development patterns.

DO 2 – Established Neighbourhood Zone

Maintain the predominant streetscape character, having regard to key features such as roadside plantings, footpaths, front yards, and space between crossovers.

PO 1.1 – Established Neighbourhood Zone

Predominantly residential development with complementary non-residential activities compatible with the established development pattern of the neighbourhood.

DO 1 – Historic Area Overlay

Historic themes and characteristics are reinforced through conservation and contextually responsive development, design and adaptive reuse that responds to existing coherent patterns of land division, site configuration, streetscapes, building siting and built scale, form and features as exhibited in the Historic Area and expressed in the Historic Area Statement.

PO 1.1 – Historic Area Overlay

All development is undertaken having consideration to the historic streetscapes and built form as expressed in the Historic Area Statement.

PO 2.1 – Historic Area Overlay

The form and scale of new buildings and structures that are visible from the public realm are consistent with the prevailing historic characteristics of the historic area.

In this instance the prevailing streetscape along Northbrook Avenue comprises a mix of building styles. The dwellings on the eastern side of the street are modern interpretations of traditional Villas, while on the western side there are both modern and conventional dwellings. These dwellings do not display the built form attributes of the Historic Area Statement and therefore are not considered to contribute positively to the historic area. While there are more traditional housing styles such as cottages, Villas and bungalows along Victoria Street to the north, the historic streetscape character in the wider locality has also been disturbed by the many instances of older residential flats and more recent building interpretations. Given that the streetscape of Northbrook Avenue is significantly removed from what is directly sought by the Historic Area Statement, it is considered that weight should be given more to the existing streetscape rather than an already diminished desired streetscape.

The proposal is consistent with secondary street frontages within the locality which are predominantly comprised of fences to a height of 1.8m of varying forms.

Given the distinct mix of building styles and the limited historic value of the streetscape in the immediate area, the contemporary design and form of the proposed dwelling would be consistent with the established development pattern of the streetscape as sought by **DO 1 and DO 2** and **PO 1.1** of the **Established Neighbourhood Zone**.

Building Height, Scale and Streetscape

The representations are also concerned with the two-storey height of the dwelling, which has a wall height of 5.8 metres and a ridge height of 6.85 metres.

PO 4.1 – Established Neighbourhood Zone

Buildings contribute to the prevailing character of the neighbourhood and complements the height of nearby buildings.

Although **DPF 4.1** of the **Established Neighbourhood Zone** recommends a maximum building height of 6 metres and one building level, the proposed building height is acceptable in this instance given the small floor size of upper storey (57m²), and the modest height and significant front and side recesses of the upper storey walls. The building bulk and scale will not overwhelm the ground floor of the dwelling and will be a relatively minor building element when viewed from street level.

Whilst it is acknowledged that the upper level will be visible at some points when viewed from Northbrook Avenue and Victoria Street, the bulk and scale of the upper-level is not considered to detract from the streetscape which already contains four (4) two-storey developments along Victoria Street and one that fronts to Chelmsford Avenue.

For these reasons, the overall height and scale of the proposed dwelling will reasonably complement the height of nearby buildings and not detract from the prevailing character of the area. **PO 4.1** of the zone is satisfied.

PO 10.1 – Established Neighbourhood Zone

Garages and carports are designed and sited to be discrete and not dominate the appearance of the associated dwelling when viewed from the street.

The garage of the dwelling is located at the rear of the dwelling with access from Victoria Street. Although the garage is located within one metre of the road boundary, the integration of the walls and roof with that of the dwelling and the moderate width of the door opening (5.17 metres) will ensure the garage does not dominate the appearance of the dwelling when viewed from the street as required by **PO 10.1** of the **Established Neighbourhood Zone**.

Site Coverage

DPF 3.1 of the **Established Neighbourhood Zone** recommends a maximum site coverage of 50%. The proposed dwelling has a site coverage of 60%, which is at variance to this DPF. The corresponding Performance Outcome is the key test in assessing site coverage, which is seeking building footprints that are “consistent with the character and pattern of the neighbourhood and provide sufficient space around buildings to limit visual impact, provide an attractive outlook and access to light and ventilation”.

PO 3.1 – Established Neighbourhood Zone

Building footprints are consistent with the character and pattern of the neighbourhood and provide sufficient space around buildings to limit visual impact, provide an attractive outlook and access to light and ventilation.

The proposed building footprint is generally consistent with the existing dwellings in Northbrook Avenue as most of these dwellings have a site coverage of at least 60%. There is also adequate space around the curtilage of the dwelling for light and ventilation, access, private open space and landscaping. Even though the site coverage is a departure from the DPF, the proposal is considered to satisfy **PO 3.1** of the **Established Neighbourhood Zone**.

Boundary Setbacks

Established Neighbourhood Zone PO 5.1 states:

‘Buildings are set back from primary street boundaries consistent with the existing streetscape.’

One way of achieving this is for the proposed dwelling to be setback at distance that is equal to average setback of the adjoining dwellings. The main front wall of the dwelling at ground level is setback 5 metres from the road boundary with the upper storey setback a further 4.5 metres. These setbacks are consistent with the adjoining dwelling on the southern side and other existing buildings in the street. The siting of the dwelling will maintain the existing streetscape pattern in accordance with the **PO/DPF 5.1** of the **Established Neighbourhood Zone**.

PO 6.1 – Established Neighbourhood Zone

Buildings are set back from secondary street boundaries (not being a rear laneway) to maintain the established pattern of separation between buildings and public streets and reinforce streetscape character.

PO 8.1 – Established Neighbourhood Zone

Buildings are set back from side boundaries to provide:

- a) *separation between buildings in a way that complements the established character of the locality*
- b) *access to natural light and ventilations for neighbours*

DPF 6.1 and **8.1** of the **Established Neighbourhood Zone** recommend a minimum setback to a secondary street or side boundary of 1 metre at ground level and 3 metres at the upper level. The sides of the dwelling are setback 0.980 metres and 3 metres respectively on both sides and therefore satisfy the minimum setback standards.

PO 8.1 – Established Neighbourhood Zone

Buildings are set back from rear boundaries to provide:

- a. *Separation between dwellings in a way that complements the established character of the locality*
- b. *access to natural light and ventilation for neighbours*
- c. *private open space*
- d. *space for landscaping and vegetation.*

In terms of rear boundary setbacks, the garage is setback 0.6 metres while the upper storey is setback approximately 10 metres. The rear setback to the upper storey is more than 6 metres as sought by **DPF 9.1** and the siting of the garage close to the boundary is supported given that the Code allows for an outbuilding of similar size to the garage to be sited on the rear boundary. The rear setbacks reasonably satisfy **PO 9.1** of the zone.

The proposal does not include any boundary walls.

Privacy and Overshadowing

General Development Policies – Design in Urban Areas PO 10.1 states

Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones.

The proposal will not result in any direct overlooking of neighbouring properties as all side and rear upper storey windows will have raised sills to a height of 1.7 metres above the finished floor. These privacy measures will protect the privacy of neighbouring properties in accordance with **PO 10.1** of the **General Development Policies - Design in Urban Areas**.

PO 3.2 - General Development Policies – Interface between Land Uses

Overshadowing of habitable room windows of adjacent residential land uses in:

- a) *a neighbourhood-type zone is minimised to maintain access to direct winter sunlight*

- b) *other zones is managed to enable access to direct winter sunlight.*

PO 3.2 - General Development Policies – Interface between Land Uses

Overshadowing of the primary area of private open space or communal open space of adjacent residential land uses in:

- a) a neighbourhood type zone is minimised to maintain access to direct winter sunlight
- b) other zones is managed to enable access to direct winter sunlight.

Given the two-storey height of the dwelling and the orientation of the land, it is expected that some shadow will be cast over the adjoining land immediately to the south. **DPF 3.1 of General Development Policies – Interface between Land Uses** states:

‘North-facing windows of habitable rooms of adjacent residential land uses in a neighbourhood-type zone receive at least 3 hours of direct sunlight between 9.00am and 3.00pm on 21 June.’

The applicant provided cross-section shadow diagrams showing the extent of shadows cast to the adjoining dwellings north facing windows, comparing a single storey dwelling to those cast by the proposed two storey dwelling. It is acknowledged that the proposal will shadow north facing windows to habitable rooms of the adjoining land, however as demonstrated a single storey development would have had a similar impact. Notwithstanding the above, it was demonstrated that that the southern neighbours will continue to receive at least three hours of sunlight on June 21st to their rear habitable room windows and Private Open Space. Overall, the adjoining properties would experience a relatively small amount of overshadowing that would not adversely impact on their amenity. **PO 3.1 and 3.2 of the General Development Policies – Interface between Land Uses** has been satisfied.

PO 3.3 - General Development Policies – Interface between Land Uses

Development does not unduly reduce the generating capacity of adjacent rooftop solar energy facilities taking into account:

- a) *the form of development contemplated in the zone*
- b) *the orientation of the solar energy facilities*
- c) *the extent to which the solar energy facilities are already overshadowed.*

It is noted that the proposal will cast shadows over the adjoining lands solar energy facilities over the course of June 21st. However, it was demonstrated that between 10am and 1pm the solar energy facilities will be provided with direct winter sunlight, with only a portion of the solar energy facilities shadowed outside of these hours. The proposed dwelling is not considered to unduly reduce the generating capacity of the adjoining dwellings solar energy facilities, satisfying **PO 3.3 of General Development Policies – Interface between Land Uses**

Vehicle Access and Car Parking

A new vehicle crossover will be provided on Victoria Street for access to the garage of the dwelling. The location and design of the crossover will provide adequate lines of sight in both directions, appropriate driveway grades and would not conflict with any street infrastructure. Council’s Assets Department is satisfied with the driveway location given that the 1.5 metre offset to the adjacent street tree has been support by Council’s Arborist (Street Trees).

23.3 of General Policies - Design in Urban Areas.

Driveways and access points are located and designed to facilitate safe access and egress while maximising land available for street tree planting, domestic waste collection, landscaped street frontages and on-street parking.

23.4 of General Policies - Design in Urban Areas.

Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.

The proposed vehicular access is therefore safe and convenient in accordance with **PO 23.3** and **23.4 of General Policies - Design in Urban Areas.**

When assessed against *Table 1 – General Off-Street Car Parking Requirements*, there is a requirement for at least two car parking spaces. The proposal will accommodate two covered spaces within the garage. and one tandem visitor space in front of the garage. Although the Code does not specify any requirement for visitor parking, there is sufficient room for two on-street parking spaces adjacent the site on Victoria Street (3-hour limit, 9am-5pm Monday to Friday). The proposed car parking provision is acceptable.

Private Open Space, Trees and Landscaping

The dwelling will be provided with approximately 62m² private open space comprising of a rear yard and covered alfresco area. The amount of private open space satisfies the requirements of the Table 1 of the **General Policies - Design in Urban Areas** and is directly accessible to living areas as required by **PO 21.2**. Suitable private open space for entertaining, clothes drying and other domestic functions is therefore provided for occupants of the dwelling.

PO 22.1 – General Policies - Design in Urban Areas

Private open space is positioned to provide convenient access from internal living areas

The applicant has provided a landscape plan that includes two small trees, shrubs and ground cover. The number and size of the proposed trees satisfies DPF 1.1 of the Urban Tree Canopy Overlay. As recommended by **PO/DPF 22.1 - Design in Urban Areas**, the amount of soft landscaping will cover 20% of the site and enhance the overall appearance and amenity of the development and minimise heat loads.

It is noted there are no Regulated or Significant trees on the site or on adjoining land.

Stormwater and Flood Management

The proposal includes an engineered stormwater drainage system for the on-site management of stormwater runoff from the dwelling and paved surfaces.

PO 1.1 of the Stormwater Management Overlay

Residential development is designed to capture and re-use stormwater to:

- a) maximise conservation of water resources*
- b) manage peak stormwater runoff flows and volume to ensure the carrying capacities of downstream systems are not overloaded*
- c) manage stormwater runoff quality.*

The stormwater system includes a 3000L rainwater tank with provision for 2000L retention and 10000L detention, which satisfies **DPF 1.1** of the **Stormwater Management Overlay**. The proposed development will not adversely impact on the existing local stormwater system and is not within an area prone to flood inundation.

CONCLUSION

Whilst the development does not satisfy some of the Designated Performance Features set out in the relevant Performance Outcomes, these shortfalls are not considered to be detrimental to the locality or the historic characteristics of the area.

The matters raised by the representors have been considered in the course of this assessment. Having considered all the relevant assessment provisions, the proposal is considered to be not seriously at variance with the Planning and Design Code. The proposed dwelling is a desirable form of development that is consistent with the Desired Outcome for the Established Neighbourhood Zone.

- On balance the proposed development is considered to satisfy the relevant Performance Outcomes of the Established Neighbourhood Zone, Overlays and General Development Policies;
- The proposed dwelling has been designed to respect and complement the streetscape context and is not considered to unreasonably impact upon the adjacent properties in regards to bulk and scale, materials and overshadowing;
- that adequate provision is made for private open space, landscaping and on-site car parking and that any increase in traffic movements would not adversely impact upon traffic or pedestrian safety on the adjacent road network; and
- Direct overlooking from upper-level habitable rooms windows is appropriately mitigated.

RECOMMENDATION

It is recommended that the Council Assessment Panel resolve that:

1. Pursuant to Section 107(2)(c) of the Planning, Development and Infrastructure Act 2016, and having undertaken an assessment of the application against the Planning and Design Code, the application is NOT seriously at variance with the provisions of the Planning and Design Code; and
2. Development Application Number 22030507 by Eastern Building Group Pty Ltd is granted Planning Consent subject to the following conditions:

CONDITIONS

Planning Consent

Condition 1

The approved development shall be undertaken and completed in accordance with the stamped plans and documentation, except where varied by conditions below (if any).

Condition 2

The colours of the materials specified on the plans for the external surfaces of the building and the pre-coloured steel finishes and paintwork must be maintained in good condition at all times to the satisfaction of Council.

Condition 3

Tree(s) must be planted in accordance with DTS/DPF 1.1 of the Urban Tree Canopy Overlay in the Planning and Design Code prior to occupation of the dwelling and maintained.

Condition 4

The establishment of all landscaping shall occur no later than the next available planting season after substantial completion of the development. Such landscaping shall be maintained in good health and

condition to the reasonable satisfaction of Council at all times. Any dead or diseased plants or trees shall be replaced with a suitable species.

Condition 5

A watering system shall be installed at the time landscaping is established and thereafter maintained and operated so that all plants receive sufficient water to ensure their survival and growth.

Condition 6

Rainwater tank(s) must be installed in accordance with DTS/DPF 1.1 of the Stormwater Management Overlay in the Planning and Design Code prior to occupation of the dwelling.

Condition 7

All stormwater from the building and site shall be disposed of so as not to adversely affect any properties adjoining the site or the stability of any building on the site. Stormwater shall not be disposed of over a crossing place.

Condition 8

Prior to the occupation or use of the dwellings, approved herein, the upper level windows facing south shall be provided with fixed obscured glass to a minimum height of 1.5m above the upper floor level to minimise the potential for overlooking to adjoining properties. The glazing in these windows shall be maintained in good condition at all times to the satisfaction of Council.

Condition 9

The existing driveway crossover that will become redundant as a result of a development must be reinstated to match the existing kerb profile along the road frontage of the property.

ADVISORY NOTES

Planning Consent

Advisory Note 1

Any excavation within 2000-1500mm of the existing street tree must be hand-dug or undertaken through other non-destructive methods (such as water-jetting or hydro vac). Council's Arborist should be contacted prior to such excavation works. Council's Arborist can be contacted on 8372 5111.

Advisory Note 2

Driveways Crossovers are Not to be constructed from concrete over the footpath area between the kerb to boundary. Driveways and boundary levels at fence line must be between 2% and 2.5% above kerb Height Crossover not to exceed 2.5% or 1:40 cross fall gradient from boundary to kerb invert . If a driveway crossover or portion of a driveway crossover is no longer required due to the relocation of a new crossover or alteration to an existing crossover. The redundant driveway crossover or part of, is required to be closed and returned back to kerb and gutter, also raising the footpath level to match the existing paved footpath levels at either side of the crossover being closed.

Advisory Note 3

No work can commence on this development unless a Development Approval has been obtained. If one or more consents have been granted on this Decision Notification Form, you must not start any site works or building work or change of use of the land until you have received notification that Development Approval has been granted.

Advisory Note 4

Appeal rights – General rights of review and appeal exist in relation to any assessment, request, direction or act of a relevant authority in relation to the determination of this application, including conditions.

Advisory Note 5

This consent or approval will lapse at the expiration of 2 years from its operative date, subject to the below or subject to an extension having been granted by the relevant authority.

Advisory Note 6

Where an approved development has been substantially commenced within 2 years from the operative date of approval, the approval will then lapse 3 years from the operative date of the approval (unless the development has been substantially or fully completed within those 3 years, in which case the approval will not lapse).

OFFICER MAKING RECOMMENDATION

Name: Amelia De Ruvo

Title: Planning Officer

Date: 21st Feb 2023

ATTACHMENT 1

A3

PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION

SITWORKS PLAN

(THIS PLAN IS TO BE READ IN CONJUNCTION WITH SITWORKS NOTES - SHEET 2 OF 2)

USE THE "SUBSTITUTE" VERTICAL FLEXIBLE CONNECTION SET-UP AS SHOWN ON DETAIL SHEET SD1 WHERE DP'S CONNECT INTO THE DRAINPIPE (THIS SET-UP IS NOT TO BE UTILISED IN A SEALED SYSTEM)

TITLE: **SITWORKS PLAN**
ADDRESS: NO.2D NORTHBROOK AVE, FORRESTVILLE
CLIENT: EASTERN BUILDING GROUP

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JOB No. **C33749** SHEET No. 1 of 2 ISSUE No. **B.**
DRAWN: D.A. DESIGN: D.A. DATE: 6-May-22



No.	REVISION	BY	DATE
A.	FRONT FENCE REMOVED	D.A.	26.09.22
B.	UPPER FLOOR EXTENDED, DRIVEWAY LAYOUT AMENDED, STEPS ADDED ON WESTERN SIDE OF GARAGE	R.M.	16.01.23

GENERAL NOTES:
SITWORKS & STORMWATER DRAINAGE TO BE CONSTRUCTED BY THE OWNER OR THE OWNERS REPRESENTATIVE (IE. THE BUILDER WHERE STATED WITHIN THE BUILDING CONTRACT). THIS DOCUMENT IS TO BE READ IN CONJUNCTION WITH THE FOOTING CONSTRUCTION REPORT & ARCHITECTURAL DRAWINGS. ANY DISCREPANCIES SHALL BE REPORTED TO THIS OFFICE IMMEDIATELY PRIOR TO WORKS PROCEEDING.

SOIL CLASSIFICATION: H1-D
• 20mm THICK CLOSED-CELL POLYETHYLENE LAGGING AROUND STORMWATER AND SEWER DRAIN PENETRATIONS THROUGH ALL FOOTINGS.
• FLEXIBLE CONNECTIONS IN SEWER & STORMWATER DRAINS ARE REQUIRED - REFER DETAIL SHEET SD1

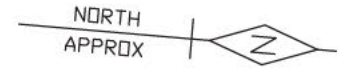
BENCH:
BUILDING AREA TO BE BENCHED TO 200mm BELOW THE FINISHED FLOOR LEVEL.
GRADE SITE AWAY FROM HOUSE AS FOLLOWS:-
• GRADE PAVED AREAS 35mm IN 1000mm
• GRADE GRASSED AREAS 5mm IN 1000mm

IMPORTANT NOTE:
TO ASSIST IN AVOIDING A "DOWNHILL" MOVEMENT OF FILL ONCE IT HAS BEEN PLACED, A SERIES OF HORIZONTAL BENCHED PLATFORMS SHOULD BE EXCAVATED INTO THE GROUND WHEN THE EXISTING SLOPE IS 1 IN 8 OR GREATER. THIS BENCHING SHOULD BE UNDERTAKEN OVER THE ENTIRE AREA WHERE FILLING IS TO OCCUR.

SEWER:
THIS SEWER DESIGN IS BASED ON THE SHORTEST POSSIBLE RUN. BUILDER/PLUMBER TO CONFIRM SEWER CONNECTION INVERT LEVEL AND ASSUMED LAYOUT PROVIDED ON THIS DRAWING. CONTACT THIS OFFICE IMMEDIATELY IF ANY DISCREPANCIES EXIST AS THE FLOOR LEVEL AND/OR UNDERMINING PIER DEPTHS MAY NEED TO BE REVISED. TOP OF FLOOD GULLY AND PAVING AROUND FLOOD GULLY TO BE CONSTRUCTED 150mm BELOW THE LOWEST FIXTURE CONNECTED TO THE DRAIN.

STORMWATER:
GRAVITY FLOW STORMWATER SYSTEM IS TO BE LAID @ 1 IN 250 MIN GRADE WITH 100mm MIN COVER EXCEPT AS NOTED BELOW UNDERSIDE OF PAVING:-
• 50mm (SUBJECT TO PEDESTRIAN TRAFFIC)
• 100mm (SUBJECT TO LIGHT VEHICULAR TRAFFIC)
• 450mm (UNPAVED DRIVEWAYS)
WHERE COVER CANNOT BE ACHIEVED ENCASE DRAIN PIPE WITHIN A CHS GALV. STEEL SLEEVE OF THICKNESS:
• 3.0mm (SUBJECT TO PEDESTRIAN TRAFFIC)
• 5.0mm (SUBJECT TO LIGHT VEHICULAR TRAFFIC)

SURVEY:
THIS IS NOT A BOUNDARY SURVEY. THEREFORE THE RELATIONSHIP BETWEEN OCCUPATION AND THE PLOTTED BOUNDARY IS INDICATIVE. LEVELS ARE BASED ON A TEMPORARY DATUM (UNO). THE DATUM (SHOWN ON THIS PLAN) IS TO BE LOCATED PRIOR TO COMMENCING SITWORKS.



NOTE: STEP LOCATIONS AND SET UP ARE SCHEMATIC ONLY. (BY OWNER AFTER HANDOVER)

NOTE: RE-GRADE DRIVEWAY ACROSS VERGE/FP AT PROPOSED DRIVEWAY LOCATION AS SHOWN AND "BLEND IN" INTO EXISTING VERGE/FOOTPATH LEVELS TO COUNCIL GRADE CRITERIA.

NOTE: PROVIDE PAVING AROUND THE GARAGE. PAVING TO BE CONSTRUCTED AT SAME LEVEL AS THE DWELLING PAVING

IMPORTANT NOTE:
DRIVEWAY ALIGNMENT ON THE LEFT HAND SIDE AS PER THE ARCHITECTURAL SITE PLAN. NOT PART OF RCI CONSULTING ENGINEERS EXTENT OF DESIGN CONSIDERATION.

NOTE: REFER TO STORMWATER NOTES ON THIS PAGE FOR STORMWATER PIPE SLEEVE REQUIREMENTS IF COVER TO THE PIPE IS NOT ACHIEVED UNDER THE DRIVEWAY PAVING

NOTE: STORMWATER PIPE TO DISCHARGE AT WATER TABLE LEVEL MAKE GOOD KERB ABOVE IF STORMWATER DRAIN PIPE COVER ACROSS COUNCIL VERGE IS NOT ACHIEVED, PROVIDE A 3.0mm THICK ALUMINIUM CHEQUER PLATE "TOP HAT" SECTION ABOVE PIPE FOR PROTECTION AND ANTI SLIP MEASURES. BLEND TOP INTO EXISTING VERGE LEVELS AS REQUIRED TO COUNCIL GRADE CRITERIA.

NOTE: REINSTATE KERB AND WATER TABLE AT EXISTING X-OVER IF/AS REQUIRED.

NOTE: SIP WAS LOCATED DURING THE LEVEL CONTOUR SURVEY HOWEVER AN INVERT LEVEL WAS NOT PROVIDED. BUILDER/BUILDERS PLUMBER TO CHECK AND CONFIRM GRAVITY FALL CAN BE ACHIEVED PRIOR TO COMMENCEMENT OF EARTHWORKS OR ANY COUNCIL APPROVALS ISSUED. WHERE FALL CAN NOT BE ACHIEVED WITH THE PROPOSED FLOOR LEVEL, CONTACT THIS OFFICE IMMEDIATELY FOR REVISED LEVELS.

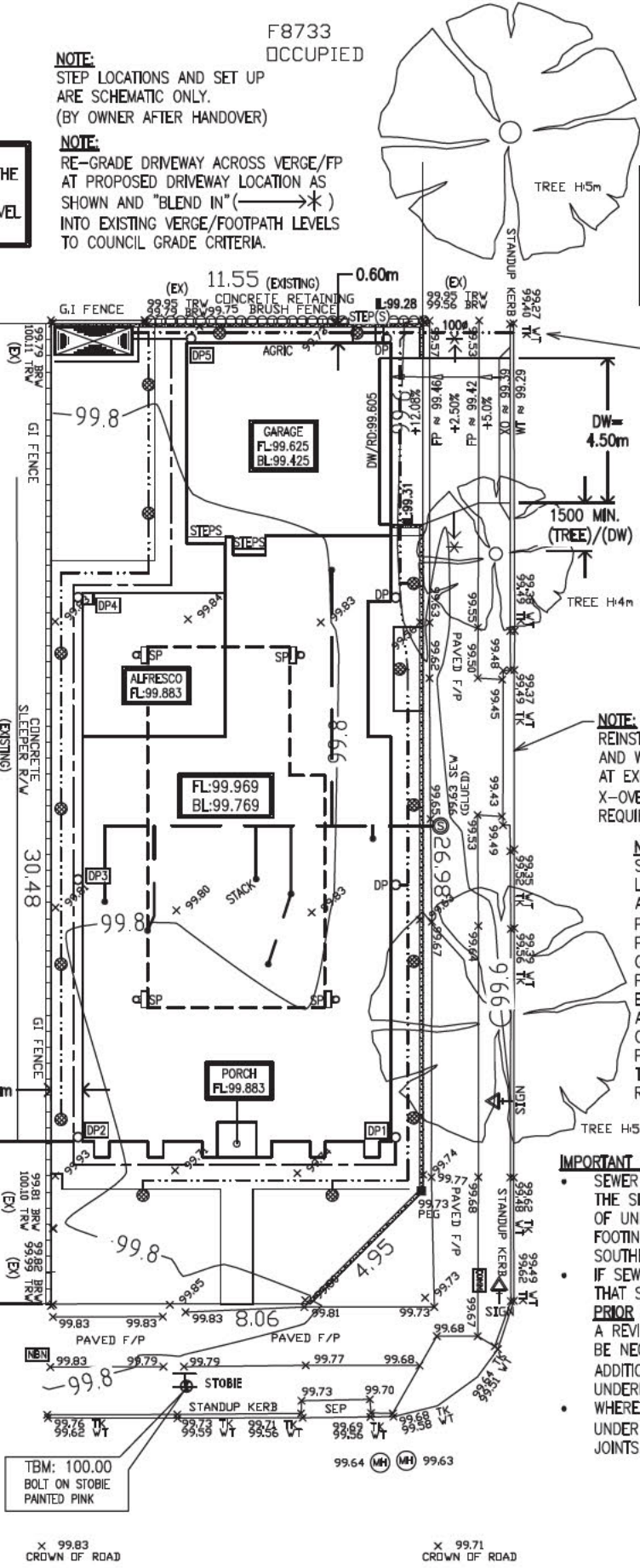
IMPORTANT NOTE:
• SEWER DRAIN HAS BEEN RUN UNDER THE SLAB TO AVOID THE POSSIBILITY OF UNDERMINING EXISTING STRUCTURES FOOTING SYSTEMS ON THE COMMON SOUTHERN BOUNDARY.
• IF SEWER DRAIN RUN DIFFERS FROM THAT SHOWN, CONTACT THIS OFFICE PRIOR TO ANY WORKS COMMENCING AS A REVIEW OF THE FOOTING PLAN WILL BE NECESSARY FOR POSSIBLE ADDITIONAL/DEEPER SEWER UNDERMINING PIERS.
• WHERE SEWER DRAIN PIPE EXISTS FROM UNDER SLAB PROVIDE 2 x "SWIVEL" JOINTS. REFER DETAIL SHEET SD1.

IMPORTANT NOTE:
STEP(S) SETUP FROM THE PAVING LEVEL TO THE REAR GARAGE FLOOR LEVEL FROM THE ACCESS DOOR IS NOT PART OF RCI CONSULTING ENGINEERS EXTENT OF DESIGN CONSIDERATION. STEP(S) AS SHOWN ARE SCHEMATIC ONLY (REFER TO BUILDER)

NOTE: EXISTING RETAINING WALL HAS BEEN SHIFTED TO THE LEFT OFF THE COMMON SOUTHERN BOUNDARY ON THIS PLAN FOR CLARITY OF NEW WORKS REQUIRED. WALL TO REMAIN IN ITS ACTUAL LOCATION ON SITE UNLESS RE ALIGNMENT/LOCATION IS NECESSARY. TO BE DETERMINED BY THE BUILDER/RELEVANT CONTRACTOR.

LOT 3 HOUSE

100.13 X APPROX FFL



X 99.83 CROWN OF ROAD X 99.71 CROWN OF ROAD

NORTHBROOK AVENUE

AMENDED PLAN / DOCUMENT
DATE: 19/01/2023

NOTE: DP/SP LOCATIONS TO BE CONFIRMED ONCE FINAL ARCHITECTURAL PLANS HAVE BEEN ISSUED.

NOTE: REFER TO THE CSIRO DOCUMENT FOR THE EXTENT OF IMPERMEABLE TYPE PAVING RECOMMENDED TO BE PLACED AROUND THE PERIMETER OF A DWELLING. REFER ALSO TO THIS DOCUMENT IN REGARDS TO THE PLANTING OF TREES/EXISTING TREES TO BE KEPT AND SOIL MODIFICATION (DEEP SOIL ZONES) NEAR THE PROPOSED AND POSSIBLE ADJACENT FOOTING SYSTEMS.

SURVEY LEGEND

TEMPORARY BENCH MARK	SWO STORM WATER OUTLET	GAS IP
MAN HOLE	METAL FENCE	GAS/M
TREE	GI FENCE	PSM
WATER METER	TIMBER FENCE	TELSTRA/COMM
STOBIE	WIRE & POST FENCE	NBN PIT
LIGHT POLE	BRUSH FENCE	ELECTRICAL PIT
SEWER IP	BRICK/BLOCK/CONC R/W	SAPN
PEG	CONC SLEEPER R/W	STORMWATER INSPECTION POINT (SWIP)
METAL PIN	STONE R/W / GABION R/W	
STAKE	TIMBER R/W	
FENCE	TRW TOP OF RETAINING WALL	
	BRW BTH OF RETAINING WALL	

DESIGN LEGEND

250 SQUARE x 285 DEEP "RELN" RAINWATER PIT (PVC), (SERIES 250) OR SIMILAR (U.N.O.)
GRADED SURFACE STORMWATER DRAIN 90# (U.N.O.)
STORMWATER DRAIN PIPE (GRAVITY FLOW) - 90# PVC (U.N.O) AT 1 IN 250 (0.40%) MIN FALL (U.N.O) EXCEPT ON SEALED SYSTEM
STORMWATER DRAIN PIPE (SEALED SYSTEM) - 90# PVC (U.N.O)
90# AGRIC DRAIN (U.N.O). CONNECT INTO TOP OF GRAVITY FLOW STORMWATER DRAIN PIPE.
INTERNAL SEWER DRAIN LOCATION (TO BE CONFIRMED BY BUILDER)
SEWER PIPE 100# AT 1.65% MIN (1 IN 60)
TOP OF BATTER
BOTTOM OF BATTER
BATTERS/EARTHWORK EMBANKMENTS TO BE 50% (1 IN 2) UNLESS NOTED OTHERWISE
EXISTING TREES AND STRUCTURES ON SITE TO BE DEMOLISHED/REMOVED BY OWNER PRIOR CONSTRUCTION. UNLESS OTHERWISE STATED.

A4

SITWORKS NOTES

(THESE NOTES ARE TO BE READ IN CONJUNCTION WITH SITWORKS PLAN - SHEET 1 OF 2)

NOTES:

ANY SURPLUS SPOIL FROM SITWORKS IS THE OWNERS RESPONSIBILITY AND SHOULD BE REMOVED OR DISPERSED AS APPROPRIATE, UNLESS STATED OTHERWISE IN THE BUILDING CONTRACT. THIS SPOIL SHOULD BE STOCKPILED SUCH THAT IT DOES NOT OBSTRUCT SITE ACCESS AND CAN BE EASILY REMOVED FROM THE SITE

ANY RETAINING WALLS SHOWN ON THIS PLAN ARE TO BE CONSTRUCTED BY THE OWNER EXCEPT WHERE THE RETAINING WALL FORMS PART OF THE BUILDING STRUCTURE OR WHERE SPECIFIED OTHERWISE WITHIN THE BUILDING CONTRACT. RETAINING WALLS ADJACENT EXCAVATIONS, A SERVICE TRENCH/EASEMENT (PROPOSED OR EXISTING) OR IF FOUND IN FILL SHOULD HAVE AN UNDERMINING COMPONENT INCORPORATED IN THE DESIGN OF THEIR FOOTING/PIER SUPPORT SYSTEM.

OWNER TO RETAIN ANY MINOR CUT/FILL ON THE BOUNDARIES WITH A CONCRETE PLINTH, SLEEPER OR SIMILAR.



: 3.0 KILOLITRE COMBINATION RETENTION/DETENTION TANK (2.0 KILOLITRES FOR RETENTION AND 1.0 KILOLITRE FOR DETENTION - BY OWNER/BUILDER - REFER BUILDING CONTRACT). RETENTION SECTION OF TANK TO BE PLUMBED TO ONE WC AND EITHER THE WATER HEATER OR ALL LAUNDRY COLD WATER OUTLETS AND SHALL ALSO BE LOOPED INTO THE MAINS WATER SYSTEM. WHERE A RWT IS SUPPORTED ON A STAND OR OTHER STRUCTURE, THE SUPPORTING STRUCTURE MUST COMPLY WITH AS/NZ 1170.1 AND 1170.2. ROOF GUTTER HEIGHT IN RELATION TO TANK INLET HEIGHT MAY NEED TO BE TAKEN INTO CONSIDERATION.

REFER TO TANK SUPPLIER FOR SET-UP (20mm-25mm ϕ SLOW RELEASE ORIFICE AT THE BOTTOM OF THE DETENTION COMPONENT OF THE TANK)

----- : STORMWATER DRAIN PIPES AS A SEALED SYSTEM USED TO CONNECT [DP1] TO [DPS] TO THE TANK (MINIMUM OF 60% OF ROOF AREA). REFER TO FOOTING CONSTRUCTION REPORT ATTACHMENT SHEET SS1.

- . . . : STORMWATER DRAIN PIPES UNDER GRAVITY FLOW USED TO CONNECT TANK OVERFLOW/OUTLET PIPE, SURFACE STORMWATER DRAIN PIPES & DP's NOT CONNECTED TO THE TANK TO THE STREET WATER TABLE.

ENSURE GRAVITY FLOW PIPES MAINTAIN SUFFICIENT GRADE TO MEET THE APPROPRIATE OUTLET AS SHOWN ON THIS PLAN. CONSTRUCT ANY SEALED SYSTEM PIPES SUCH THAT THEY DO NOT INTERFERE WITH THE GRAVITY FLOW SYSTEM.

WHERE GRATED SURFACE STORMWATER SUMPS ARE USED GRADE SOIL/PAVING IN TOWARDS SUMPS IN ACCORDANCE WITH THE "BENCH" NOTES ON THIS PAGE. ALTERNATIVELY CONSTRUCT LINED SPOON DRAINS WITH 0.30% GRADIENT AS PER THE DETAILS ON ATTACHMENT SHEET PD1.

SUMP SIZES AND QUANTITY SHOWN ARE RECOMMENDED AS A MINIMUM. LOCATIONS AND SIZES MAY BE ALTERED AT THE DRAIN AND PAVING CONTRACTORS DISCRETION DEPENDING ON AREAS THEY SERVICE AND PAVEMENT TYPE USED.

TITLE: **SITWORKS NOTES**

ADDRESS: **NO.2D NORTHBROOK AVE,
FORRESTVILLE**

CLIENT: **EASTERN BUILDING GROUP**

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JOB No. **C33749** SHEET No. **2 of 2** ISSUE No. **B**

DRAWN : D.A. DESIGN: D.A. DATE: 18-May-22



No.	REVISION	BY	DATE
A.	FRONT FENCE REMOVED	D.A.	26.09.22
B.	UPPER FLOOR EXTENDED, DRIVEWAY LAYOUT AMENDED, STEPS ADDED ON WESTERN SIDE OF GARAGE	R.M.	16.01.23

PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION

KEY

TK	TOP OF KERB
WT	WATER TABLE
BL	BENCH LEVEL
FL	FLOOR (POURED) LEVEL
ϕ	DIAMETER
IL	INVERT LEVEL (BOTTOM OF GRAVITY FLOW STORMWATER DRAIN PIPE SYSTEM)
≈	APPROXIMATE
U.N.O.	UNLESS NOTED OTHERWISE
C.O.S	CHECK ON SITE
RD	ROLLER DOOR REBATE
DW	DRIVEWAY
(EX)	EXISTING
RWT	RAINWATER TANK
DPO	DOWNPIPE
SP	SPREADER PIPE
	CONCRETE PLINTH AS REQUIRED OR SIMILAR

**AMENDED PLAN / DOCUMENT
DATE: 19/01/2023**

IA ST

40
AREA
PARKING
AREA
3P
9 - 5
MON - FRI
10:00 AM - 1:00 PM

TENNIS S.A.
← TENNIS CLUB





BOUNDARY/SURVEY NOTE:

THIS DRAWING IS INTENDED FOR INDICATIVE BUILDING SETOUT PURPOSES ONLY; REFER TO CIVIL ENGINEER / SURVEYOR DRAWINGS FOR SITE LEVELS, CONTOURS, BENCH MARKS, SERVICE LOCATIONS, & EARTHWORK DESIGN. FINAL BOUNDARY & BUILDING SETOUT SHALL BE CONFIRMED & CERTIFIED BY LICENSED SURVEYOR PRIOR TO ANY CONSTRUCTION.

RETENTION/DETENTION RWT NOTE:

3000LT COMBINED RWT FOR EACH DWELLING - 2000LT FOR RETENTION AND 1000LT FOR DETENTION

2000LTS RETENTION PORTION OF RWT TO BE CONNECTED TO ONE TOILET AND EITHER THE LAUNDRY COLD WATER OUTLETS OR HOT WATER SERVICE. RWT MUST BE FITTED WITH OVERFLOW DEVICE. INLET & OVERFLOW MUST BE FITTED WITH MOSQUITO-PROOF SCREENS.

**AMENDED PLAN / DOCUMENT
DATE: 19/01/2023**

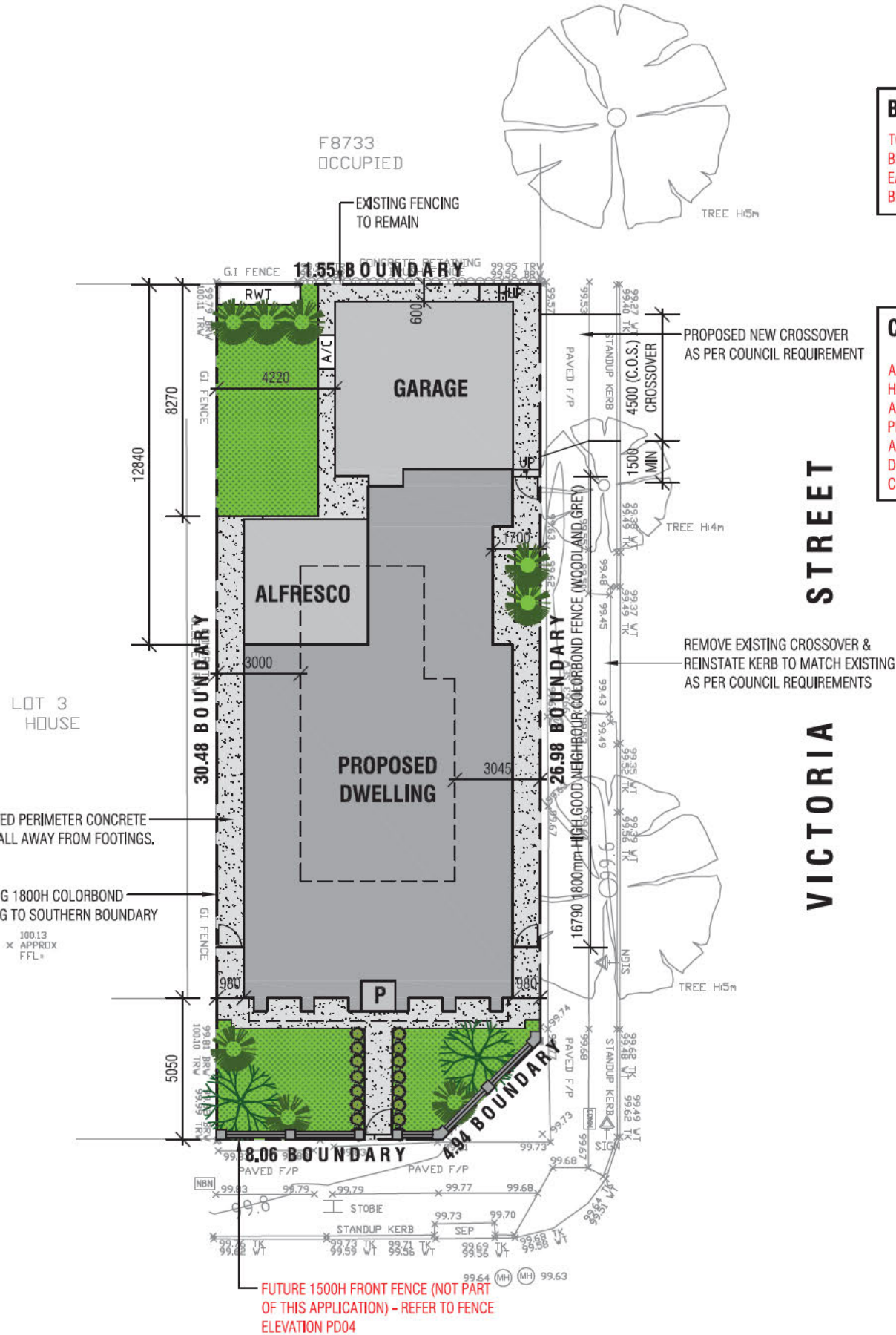
STORMWATER NOTE:

REFER TO ENGINEER'S DRAINAGE PLAN FOR ALL LEVEL, RETAINING WALLS & STORMWATER DRAINAGE DESIGN.

LANDSCAPING LEGEND: ALL LANDSCAPE BY OWNER

GROUND COVERS		MATURE HEIGHT/SPREAD (m)	PLANTS				
	RAINBOW TWIST <i>Dianella Pruriens</i>	SIZE VARIES BETWEEN 50-100mm HIGH WITH A SPREAD OF 1-2 METRES		CONVOLVULUS <i>Convolvulus Mauritanicus</i>	0.4	0.6	0.2
	CREEPING FIG <i>Ficus Primitiva</i>			DIETES <i>Diets Irkikoides</i>	0.5-0.7	0.5-0.7	0.2-0.3
	LOBELIA TRAILING <i>Lobelia Erinus</i>			MURRAYA HEDGE <i>Murraya Paniculata</i>	1.0-2.5	0.8-1.2	0.2-0.5
	LIME JET <i>Lomandra</i>			NANDINA <i>Nandina Domestica</i>	0.6-0.7	0.6-0.7	0.2-0.3
	MYOPORUM <i>Myoporum Parvifolium</i>		TREES				
	MEDITERRANEAN CREEPING THYME <i>Thymus Longicaulis</i>			NIGRA <i>Prunus Cerasifera</i>	5.0	4.0	1.2
			MANCHURIAN PEAR <i>Pyrus Ussuriensis</i>	9.0	7.0	1.8	
			WEeping MULBERRY <i>Morus Nigra</i>	3.0	4.0	0.9	

ALL SPECIES ARE TO BE CONFIRMED BY OWNER PRIOR TO COMMENCEMENT OF LANDSCAPING. ALL NEW LANDSCAPED AREAS TO BE SERVICED BY POLYPIPE SPRAYERS & DRIPPERS



BRUSH FENCE NOTE:
TO ENSURE 59 VICTORIA STREET'S FRONT BRUSH FENCE CAN REMAIN, THE GARAGE EAVES AND GARAGE CEILING LINING MUST BE FIRE RATED TO 60/60/60.

CROSSOVER CONSTRUCTION NOTE:
ANY EXCAVATION WITHIN 2000mm OF THE STREET TREE IS HAND DUG (OR OTHER NON-DESTRUCTIVE METHODS SUCH AS WATER-JETTING OR HYDRO-VAC). IT IS ALSO COUNCILS PREFERENCE TO BE CONTACTED FOR INSPECTION SHOULD ANY ROOTS BE ENCOUNTERED GREATER THAN 750mm IN DIAMETER, AND OTHERWISE IMPEDING CONSTRUCTION COMPLETION.

NORTHBROOK AVENUE

SITE PLAN

SCALE 1:200



AREAS	sq.m
G.LIVING	149.70
F.LIVING	57.41
GARAGE	39.07
ALFRESCO	19.85
PORCH	1.31
TOTAL	267.34
SITE:	346.00
P.O.S.	62.00
SOFT LANDSCAPING	69.00
SITE COVERAGE:	60.00%
LIVING & GARAGE ONLY	54.00%

rev	date	description
E	2/9	PLANNING DRAWINGS
F	5/9	AMENDED AS PER CLIENT'S REQUEST
G	26/9	AMENDED AS PER COUNCIL'S RF
H	25/11	STREETSCAPE
I	19/12	PLANNING DRAWING REVISION

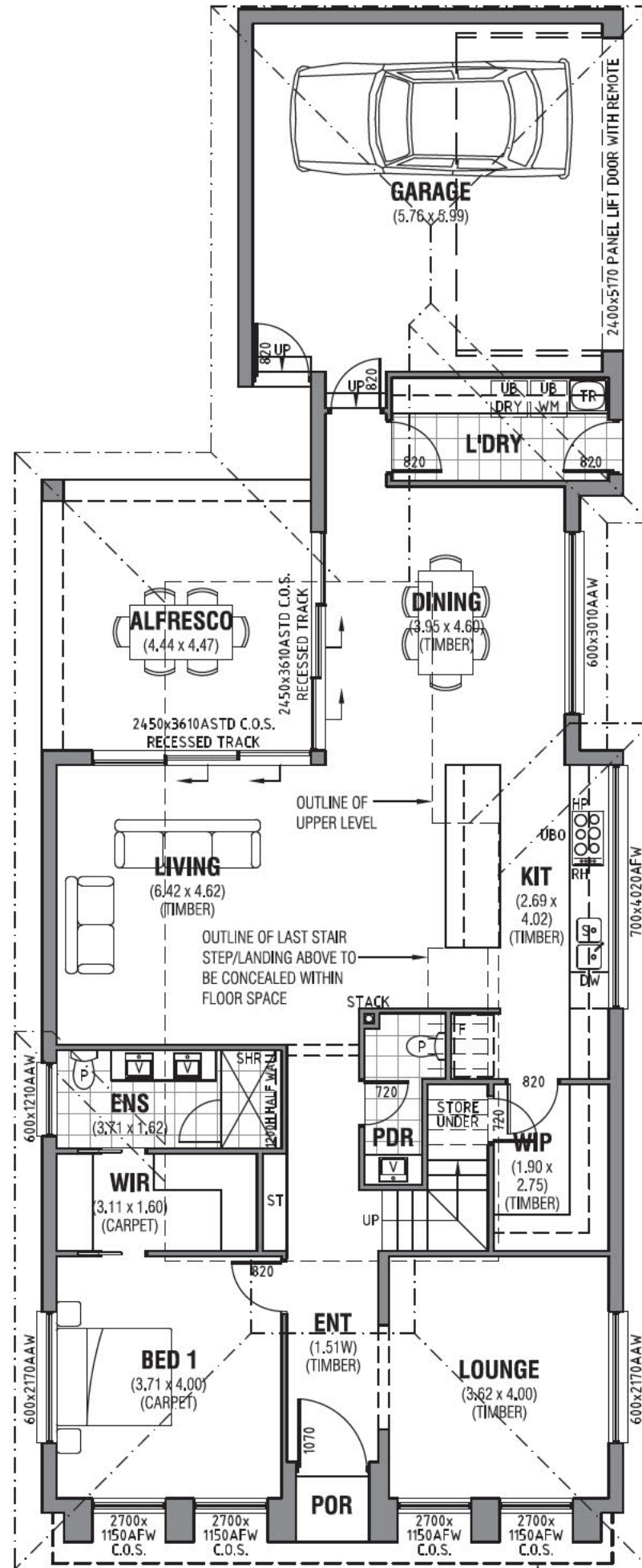
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project: NORTHBROOK AVE RESIDENCE date: MARCH 2022 drawn by: LD
at: 2D NORTHBROOK AVENUE FORESTVILLE SA 5035 scale: 1:200 drawing no: 01
project no: EBG.223 sheet size:
client: T CROSS EBG.223 25 A3

LEGEND:

- S STAINLESS STEEL SINK
- HP HOT PLATE
- UBO UNDER BENCH OVEN
- WO WALL OVEN
- RH RANGE HOOD
- DW DISHWASHER
- F REFRIDGERATOR
- FR FREEZER
- PTRY PANTRY
- SHR SHOWER
- B BATH
- FSB FREESTANDING BATH
- L LINEN
- WM WASHING MACHINE
- UBWM UNDER BENCH WASHING MACHINE
- UBD UNDER BENCH DRYER
- TR TROUGH
- LC LAUNDRY CHUTE
- P TOILET PAN
- V VANITY
- BCH BENCH
- BR BROOM CUPBOARD
- ST STORAGE
- RA ROOF ACCESS 600x600
- SL SKY-LIGHT
- SB SWITCH BOARD
- DP DOWNPIPE
- DPS DOWNPIPE WITH SPREADER
- RH RAIN HEAD
- RWT RAIN WATER TANK
- Ⓢ SMOKE ALARM HARD WIRED IN ACCORDANCE WITH AS3786 AND TO BE INTERCONNECTED WHEN TWO OR MORE SMOKE ALARMS ARE REQUIRED.
- Ⓜ EXHAUST FAN CEILING MOUNTED & DUCTED TO OUTSIDE AIR
- ⓐ CONTROL JOINTS AS PER ENGINEERS REPORT

AMENDED PLAN / DOCUMENT
DATE: 19/01/2023



EXPOSED 200mm PFC CANOPY SURROUNDS. PROVIDE ADEQUATE FLASHING OVER FOR WATER TO RUN OFF NATURALLY. REFER TO STRUCTURAL DETAILS BY OTHERS.

GROUND FLOOR PLAN

SCALE 1:100



AREAS	sq.m
G.LMNG	149.70
F.LMNG	57.41
CARAGE	39.07
ALFRESCO	19.85
PORCH	1.31
TOTAL	267.34
SITE:	346.00
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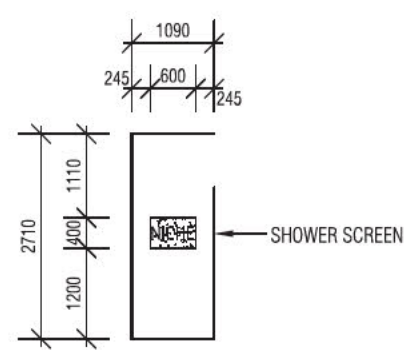
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PLANNING DRAWINGS	E	2/9	PLANNING DRAWINGS
	F	5/9	AMENDED AS PER CLIENT'S REQUEST
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	H	25/11	STREETSCAPE
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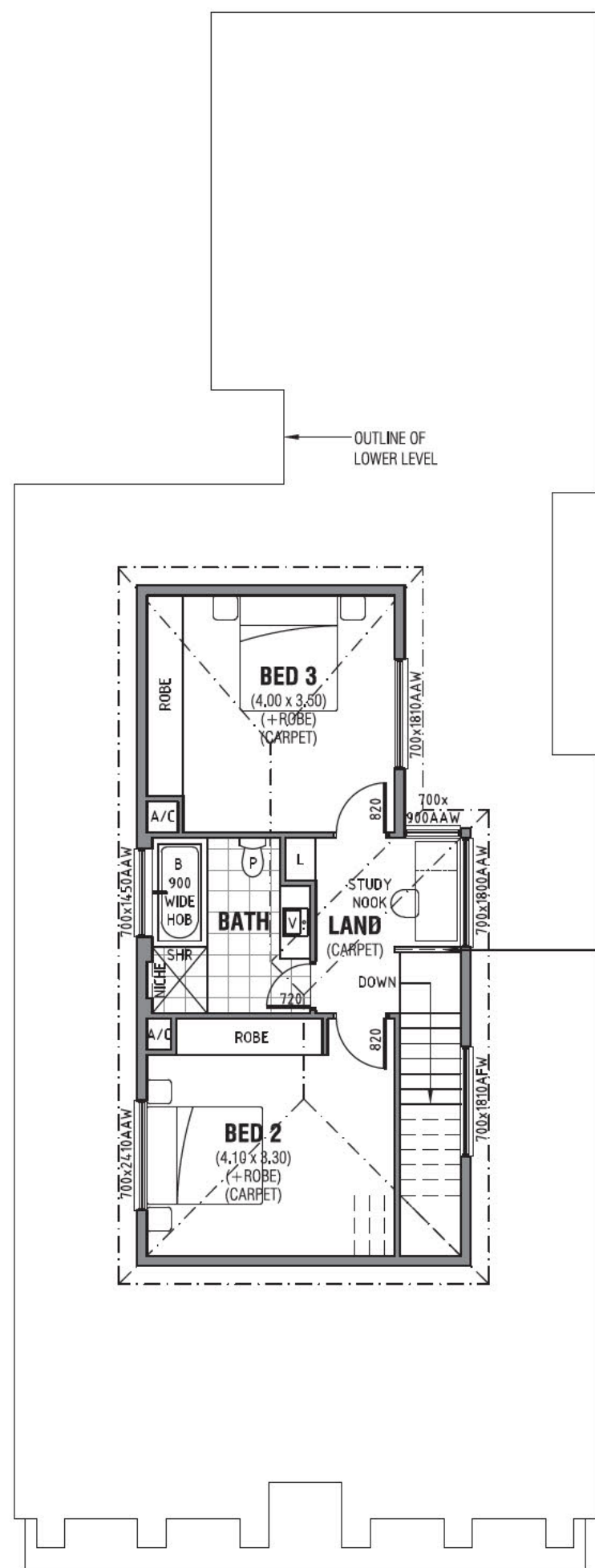
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project: NORTHBROOK AVE RESIDENCE		date: MARCH 2022	drawn by: LD
at: 2D NORTHBROOK AVENUE FORESTVILLE SA 5035	scale: 1:100	drawing no: 02	project no: sheet size:
client: T CROSS	EBG.223 26 A3		

- LEGEND:**
- S STAINLESS STEEL SINK
 - HP HOT PLATE
 - UBO UNDER BENCH OVEN
 - WO WALL OVEN
 - RH RANGE HOOD
 - DW DISHWASHER
 - F REFRIDGERATOR
 - FR FREEZER
 - PTRY PANTRY
 - SHR SHOWER
 - B BATH
 - FSB FREESTANDING BATH
 - L LINEN
 - WM WASHING MACHINE
 - UBWM UNDER BENCH WASHING MACHINE
 - UBD UNDER BENCH DRYER
 - TR TROUGH
 - LC LAUNDRY CHUTE
 - P TOILET PAN
 - V VANITY
 - BCH BENCH
 - BR BROOM CUPBOARD
 - ST STORAGE
 - RA ROOF ACCESS 600x600
 - SL SKY-LIGHT
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 - Ⓜ EXHAUST FAN CEILING MOUNTED & DUCTED TO OUTSIDE AIR
 - ⓐ CONTROL JOINTS AS PER ENGINEERS REPORT



NICHE DETAIL
 SCALE 1:100 BATHROOM SHOWER



FIRST FLOOR PLAN
 SCALE 1:100

1100mm HIGH PLASTERBOARD BALUSTRADE WALL

AREAS	sq.m
G.LMNG	149.70
F.LMNG	57.41
CARAGE	39.07
ALFRESCO	19.85
PORCH	1.31
TOTAL	267.34
SITE:	346.00
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project: NORTHBROOK AVE RESIDENCE date: MARCH 2022 drawn by: LD
 at: 2D NORTHBROOK AVENUE FORESTVILLE SA 5035 scale: 1:100 drawing no: 03
 project no: sheet size:
 client: T CROSS EBG.223 27 A3

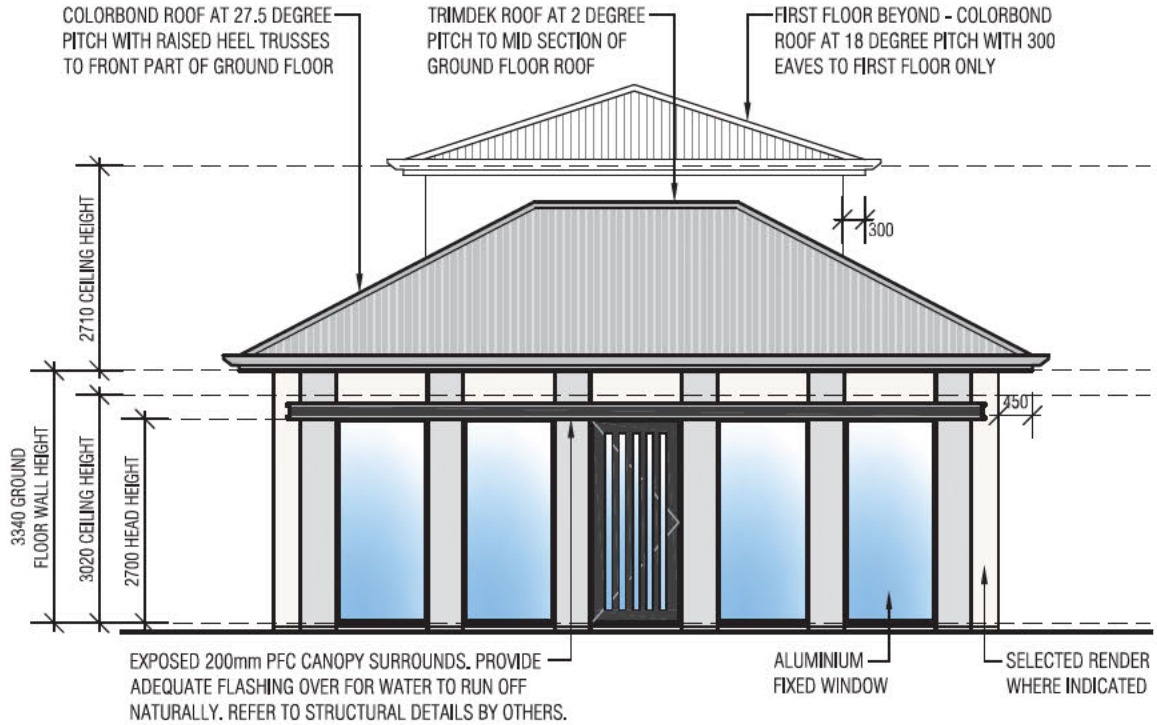
PLANNING DRAWINGS

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INDICATIVE EXTERNAL MATERIAL SCHEDULE:

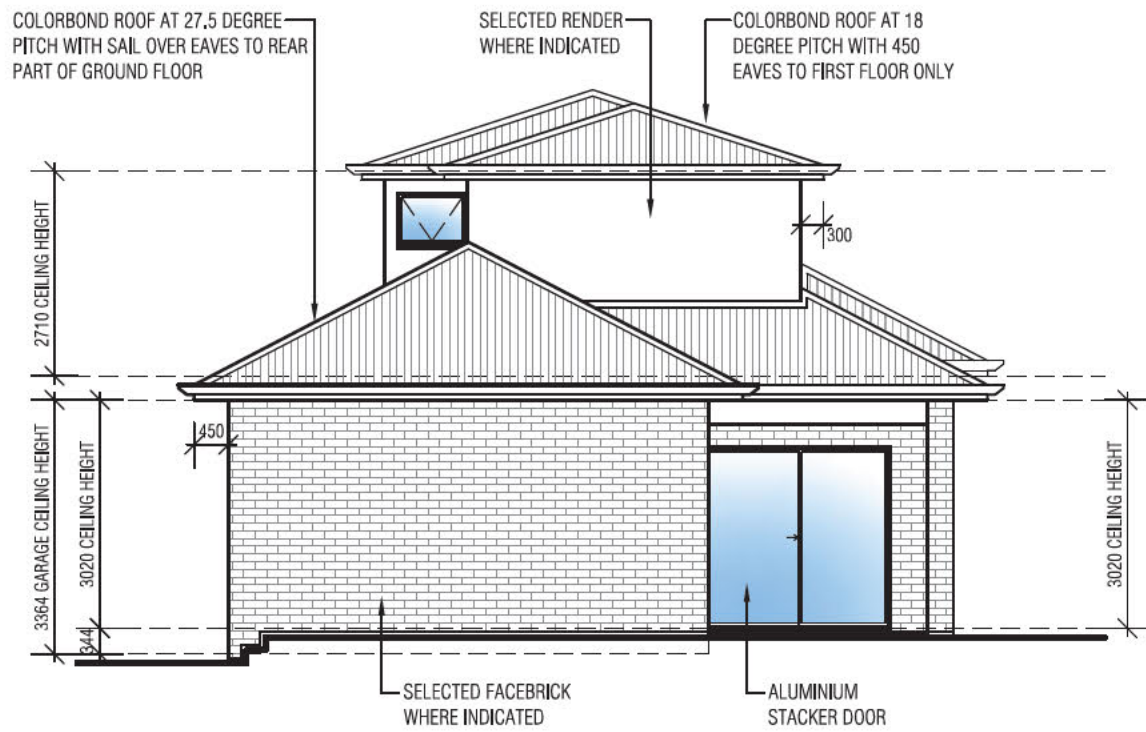
	MATERIAL:	COLOUR:
ROOF	COLORBOND	SHALE GREY
GUTTERS	COLORBOND	SHALE GREY
FACIAS	COLORBOND	SHALE GREY
EXTERNAL WALLS	FACEBRICK	RED BRICK
	RENDERED BRICK (GROUND FLOOR)	SHALE GREY HALF STRENGTH
	RENDERED PIERS (GROUND FLOOR)	GREY REFLECTION
	RENDERED FOAM (FIRST FLOOR)	SHALE GREY HALF STRENGTH
FRONT DOOR	TIMBER	BLACK STAIN
WINDOWS	ALUMINIUM	BLACK
PANEL LIFT	COLORBOND	SHALE GREY

AMENDED PLAN / DOCUMENT
DATE: 06/02/2023



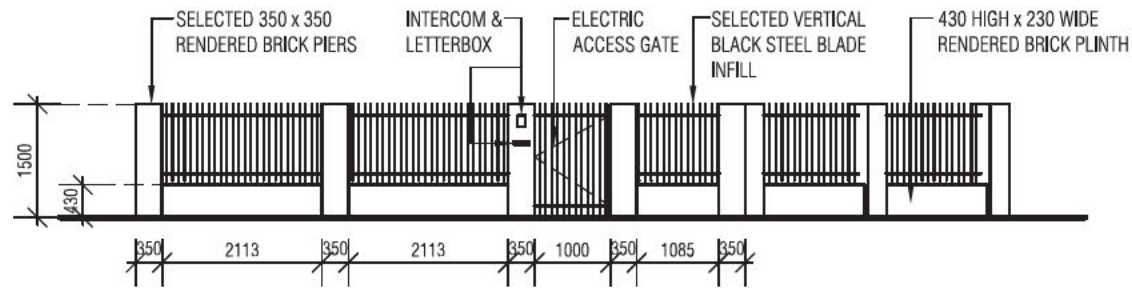
EAST ELEVATION (NORTHBROOK AVENUE)

SCALE 1:100



WEST ELEVATION

SCALE 1:100



FUTURE FENCE ELEVATION - NORTHBROOK AVE

SCALE 1:100

NOT PART OF THIS APPLICATION

PLANNING DRAWINGS

rev	date	description
E	2/9	PLANNING DRAWINGS
F	5/9	AMENDED AS PER CLIENT'S REQUEST
G	26/9	AMENDED AS PER COUNCIL'S RF
H	25/11	STREETSCAPE
I	19/12	PLANNING DRAWING REVISION
J	6/2	AMENDED MATERIAL/COLOUR SCHEDULE

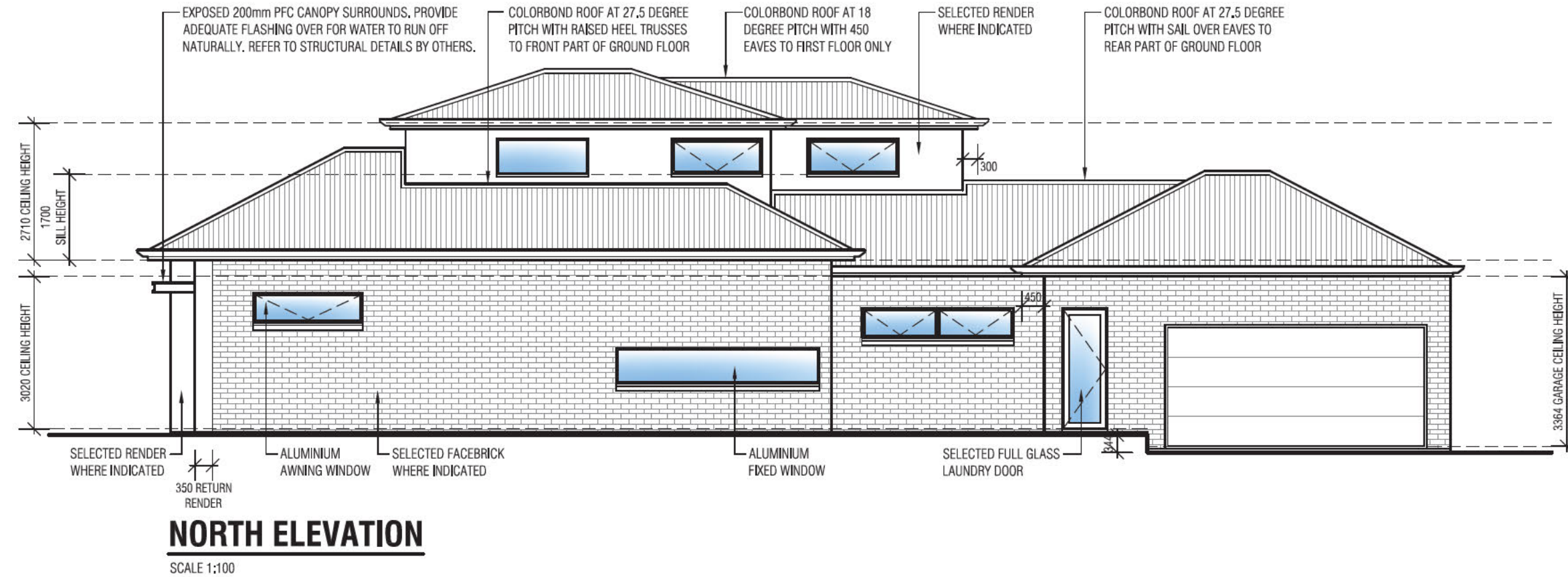
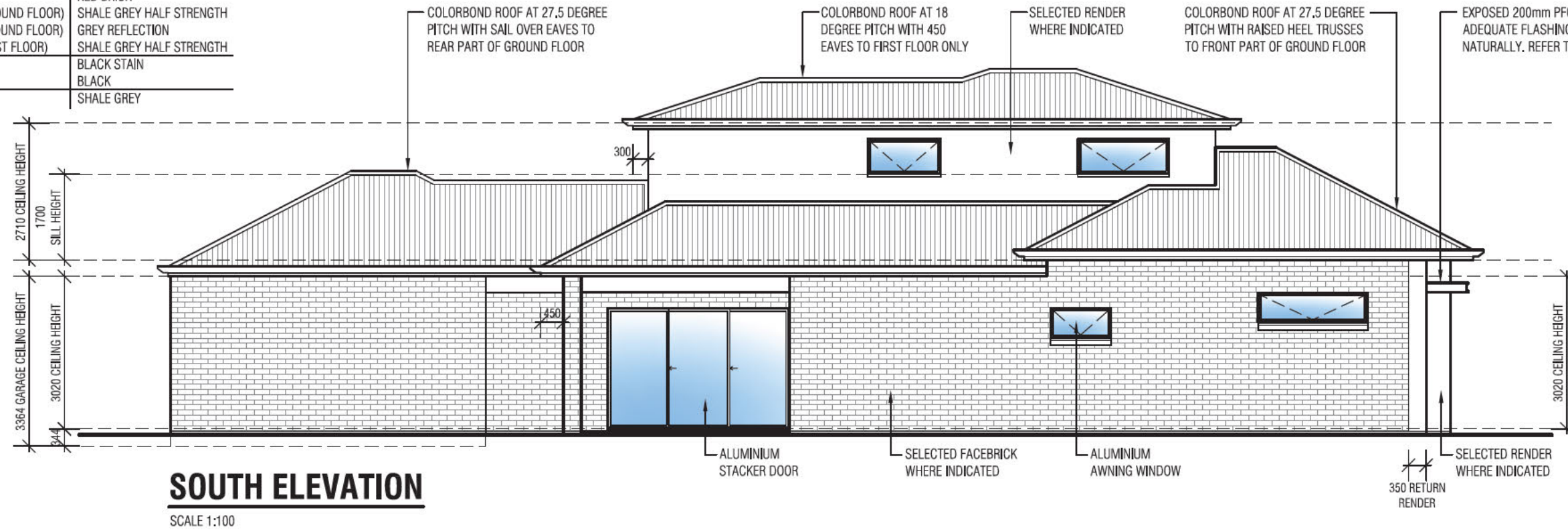
EASTERN BUILDING GROUP PTY LTD
Level 1, Suite 1 / 395 Payneham Road MARDEN SA 5070
P:(08) 8363 3331 E:admin@easternbuildgroup.com.au

project: NORTHBROOK AVE RESIDENCE date: MARCH 2022 drawn by: LD
at: 2D NORTHBROOK AVENUE FORESTVILLE SA 5035 scale: 1:100 drawing no: 04
project no: EBG.223 sheet size: A3
client: T CROSS

INDICATIVE EXTERNAL MATERIAL SCHEDULE:


	MATERIAL:	COLOUR:
ROOF	COLORBOND	SHALE GREY
GUTTERS	COLORBOND	SHALE GREY
FACIAS	COLORBOND	SHALE GREY
EXTERNAL WALLS	FACEBRICK	RED BRICK
	RENDERED BRICK (GROUND FLOOR)	SHALE GREY HALF STRENGTH
	RENDERED PIERS (GROUND FLOOR)	GREY REFLECTION
	RENDERED FOAM (FIRST FLOOR)	SHALE GREY HALF STRENGTH
FRONT DOOR	TIMBER	BLACK STAIN
WINDOWS	ALUMINIUM	BLACK
PANEL LIFT	COLORBOND	SHALE GREY

AMENDED PLAN / DOCUMENT
DATE: 06/02/2023

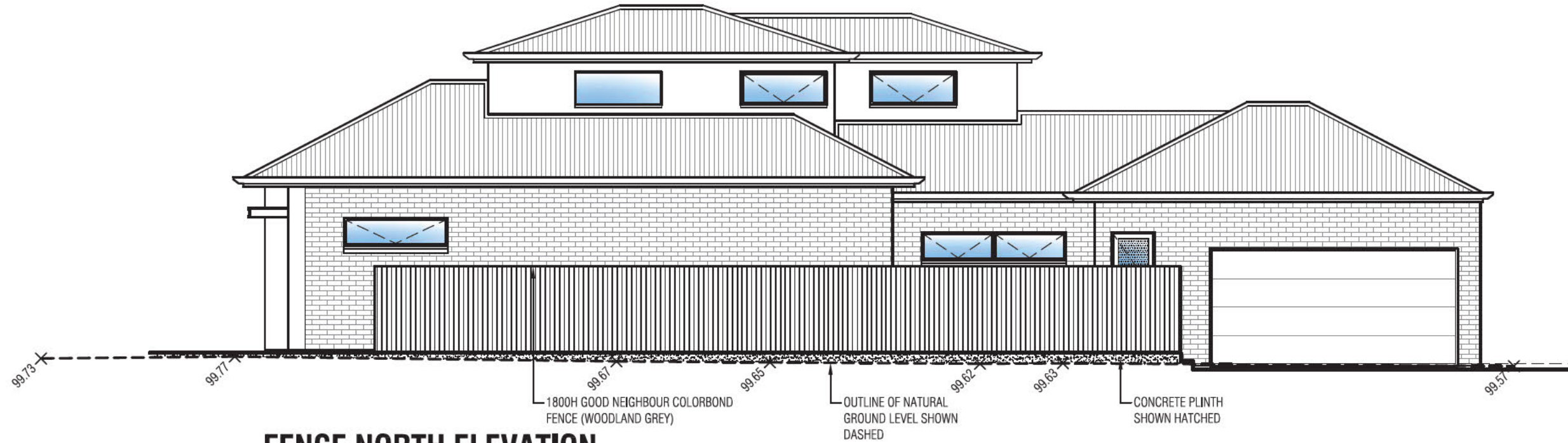


rev	date	description	notes
E	2/9	PLANNING DRAWINGS	
F	5/9	AMENDED AS PER CLIENT'S REQUEST	
G	26/9	AMENDED AS PER COUNCIL'S RFI	
H	25/11	STREETSCAPE	
I	19/12	PLANNING DRAWING REVISION	
J	6/2	AMENDED MATERIAL/COLOUR SCHEDULE	

PLANNING DRAWINGS

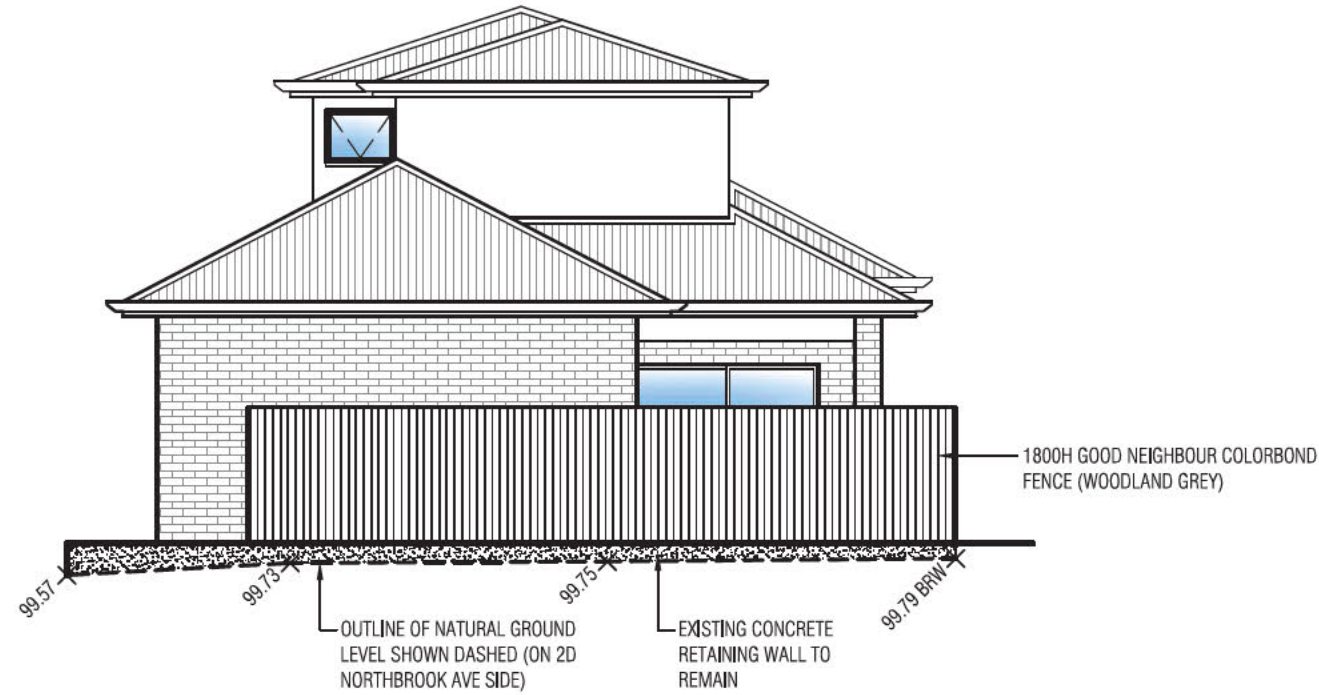
 <p>EASTERN BUILDING GROUP PTY LTD</p>	project: NORTHBROOK AVE RESIDENCE	date: MARCH 2022 drawn by: LD
	at: 2D NORTHBROOK AVENUE FORESTVILLE SA 5035	scale: 1:100 drawing no: 05
	client: T CROSS	project no: EBG.223 29 A3

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FENCE NORTH ELEVATION

SCALE 1:100



FENCE WEST ELEVATION

SCALE 1:100

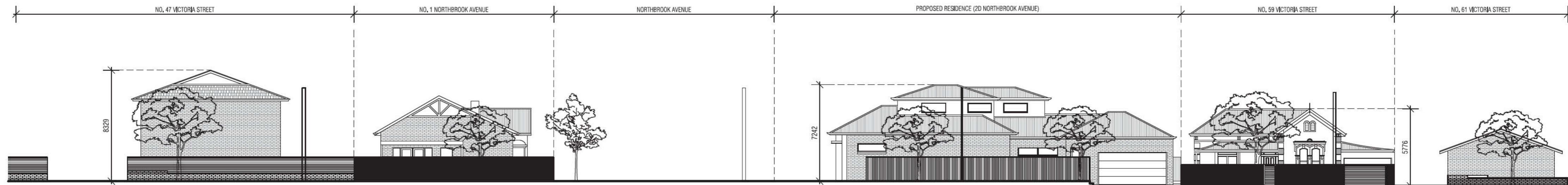
rev	date	description	notes
E	2/9	PLANNING DRAWINGS	
F	5/9	AMENDED AS PER CLIENT'S REQUEST	
G	26/9	AMENDED AS PER COUNCIL'S RF	
H	25/11	STREETSCAPE	
I	19/12	PLANNING DRAWING REVISION	
PLANNING DRAWINGS			

rev	date	description	notes



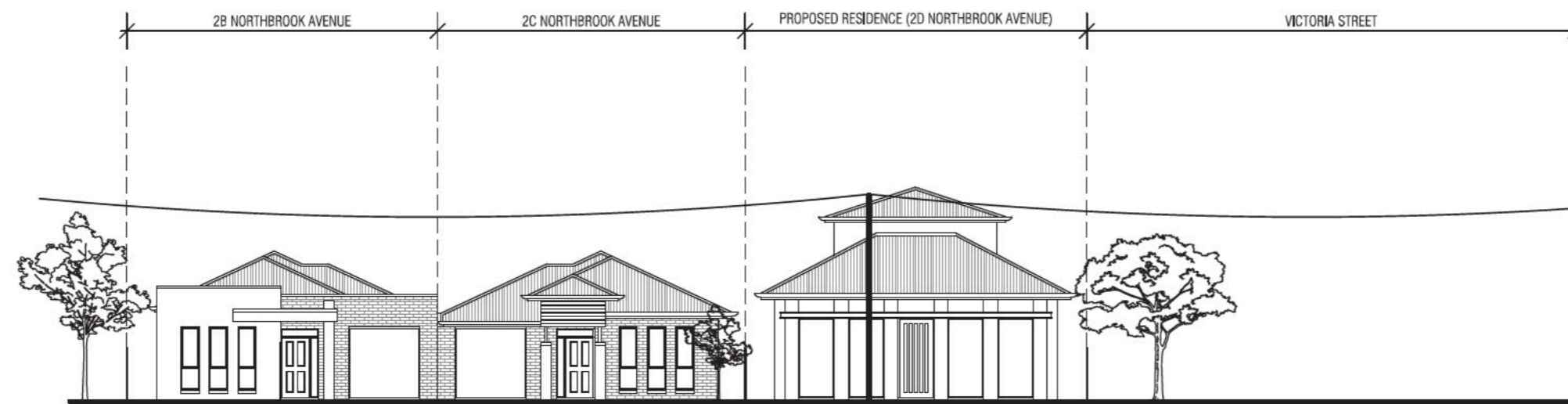
EASTERN BUILDING GROUP PTY LTD
 Level 1, Suite 1 / 395 Payneham Road MARDEN SA 5070
 P:(08) 8363 3331 E:adm@easternbulldgroup.com.au

project: NORTHBROOK AVE RESIDENCE date: MARCH 2022 drawn by: LD
 at: 2D NORTHBROOK AVENUE scale: 1:100 drawing no: 06
 FORESTVILLE SA 5035 project no: sheet size:
 client: T CROSS EBG.223 30 A3



STREETScape - VICTORIA STREET

SCALE 1:200



STREETScape - NORTHBROOK AVENUE

SCALE 1:200

REV	date	description	notes
E	2/9	PLANNING DRAWINGS	
F	5/9	AMENDED AS PER CLIENT'S REQUEST	
G	26/9	AMENDED AS PER COUNCIL'S RFI	
H	25/11	STREETScape	
I	19/12	PLANNING DRAWING REVISION	

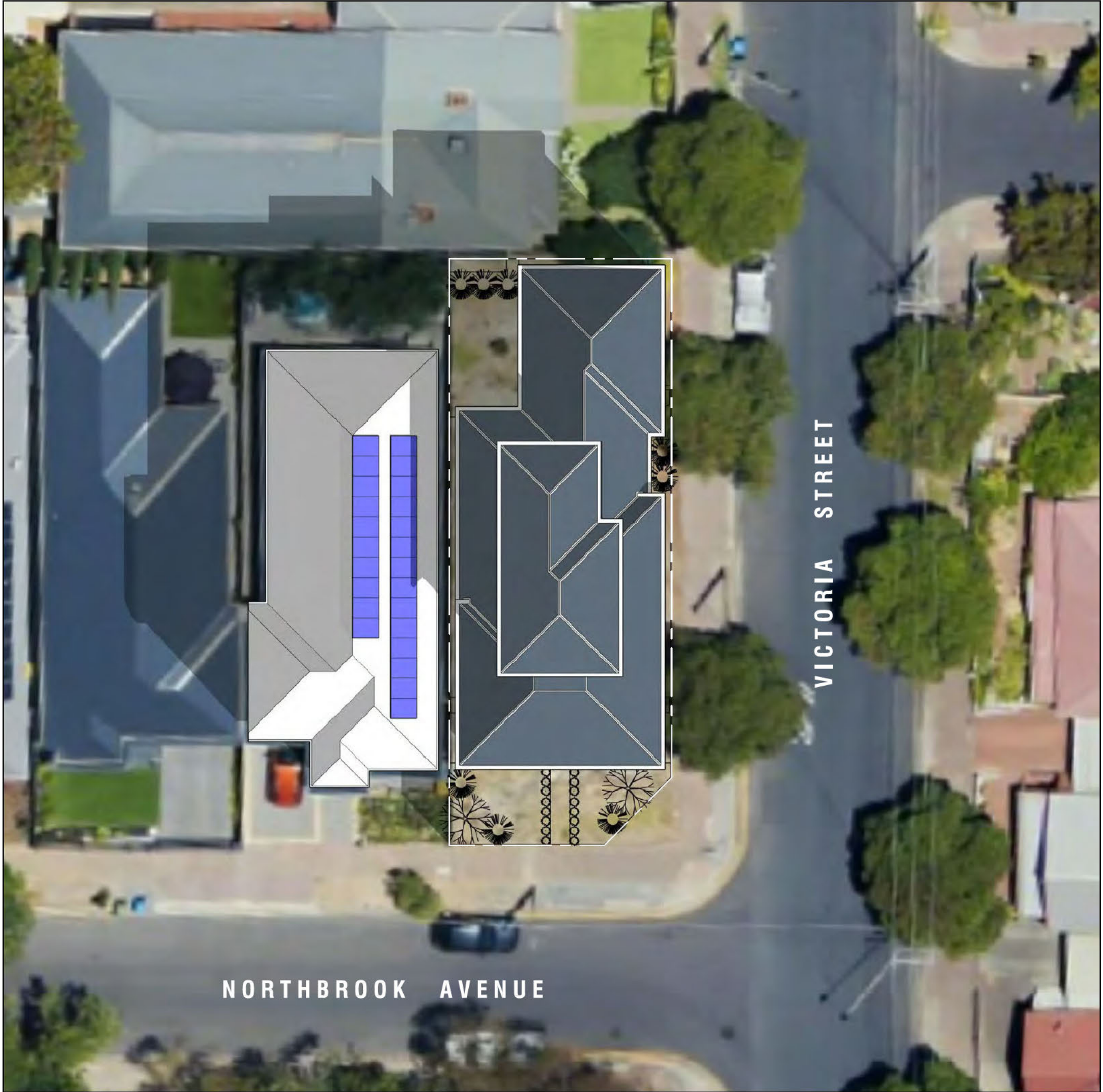
EASTERN BUILDING GROUP PTY LTD
 Level 1, Suite 1 / 395 Payneham Road MARDEN SA 5070
 P:(08) 8363 3331 E:admin@easternbulldgroup.com.au

project: NORTHBROOK AVE RESIDENCE date: MARCH 2022 drawn by: LD
 at: 2D NORTHBROOK AVENUE FORESTVILLE SA 5035 scale: 1:200 drawing no: 07
 project no: EBG.223 sheet size: A2
 client: T CROSS

SHADING DIAGRAM

JUNE 21 @ 9:00am

SCALE 1:200 @ A3



SITE/SHADOW PLAN

SCALE 1:200



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rev	date	description
A	26/9	SHADOW DIAGRAMS



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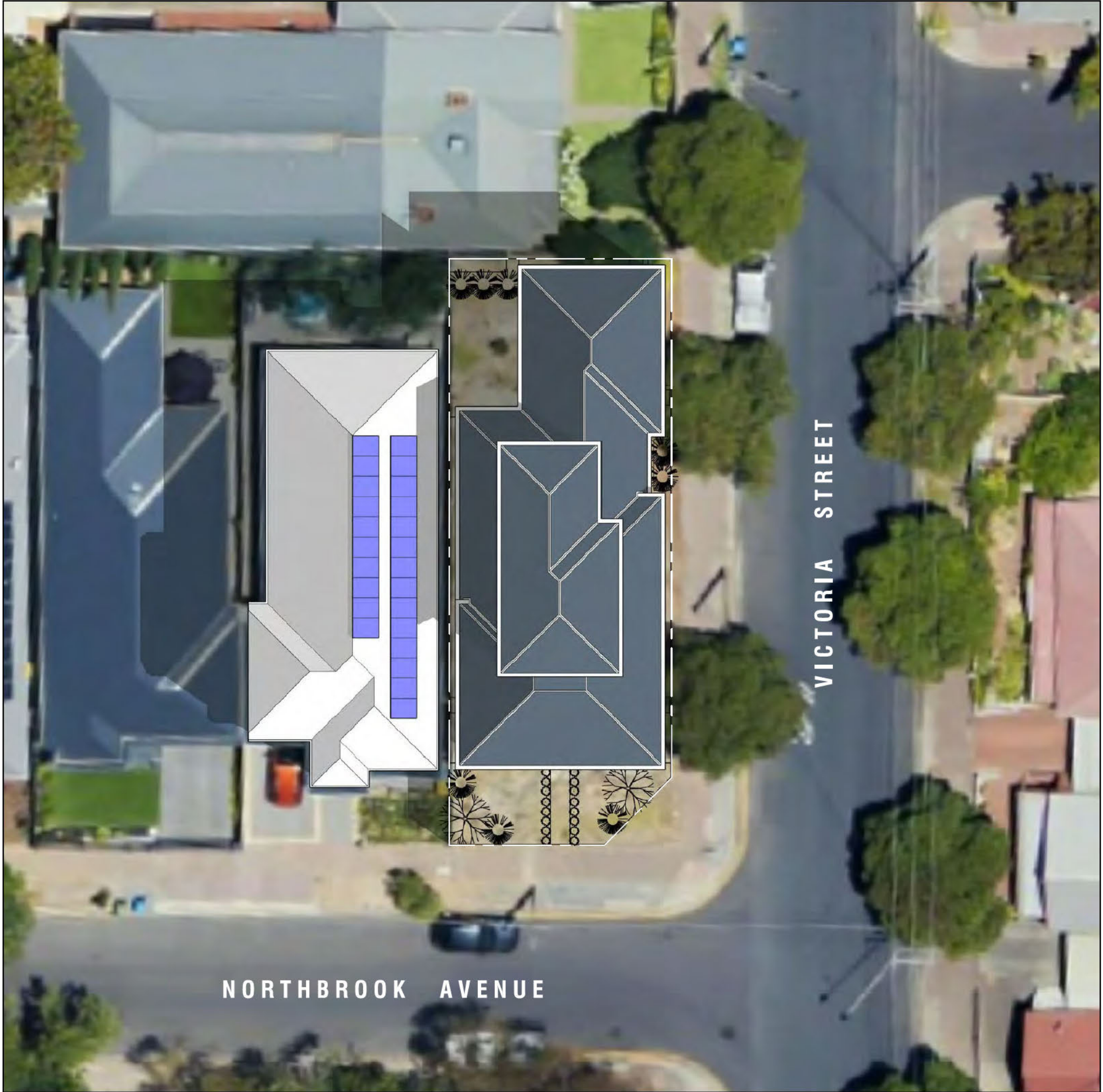
Level 1, Suite 1 / 395 Payneham Road MARDEN SA 5070
P:(08) 8363 3331 E:admin@easternbuildgroup.com.au

project:	NORTHBROOK AVE RESIDENCE	date:	MARCH 2022	drawn by:	LD
at:	2D NORTHBROOK AVENUE FORESTVILLE SA 5035	scale:	1:200	drawing no:	01
client:	T CROSS	project no:	EBG.223	sheet size:	A3

SHADING DIAGRAM

JUNE 21 @ 10:00am

SCALE 1:200 @ A3



SITE/SHADOW PLAN

SCALE 1:200



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rev	date	description
A	26/9	SHADOW DIAGRAMS

SHADOW DIAGRAMS



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P:(08) 8363 3331 E:admin@easternbuildgroup.com.au

project: NORTHBROOK AVE RESIDENCE

at: 2D NORTHBROOK AVENUE FORESTVILLE SA 5035

client: T CROSS

date: MARCH 2022 drawn by: LD

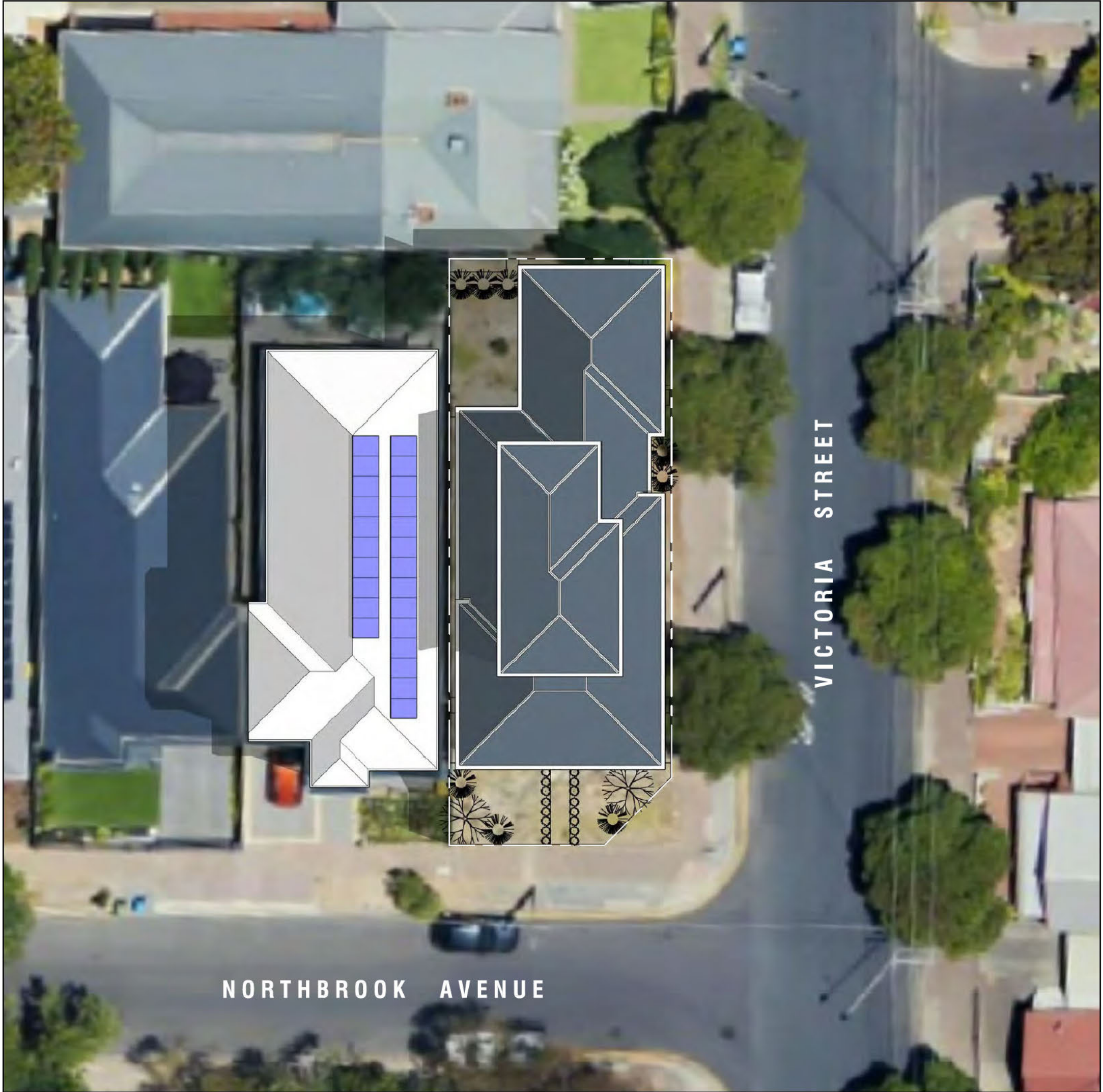
scale: 1:200 drawing no: 02
project no: sheet size:

EBG.223 **33** A3

SHADING DIAGRAM

JUNE 21 @ 11:00am

SCALE 1:200 @ A3



SITE/SHADOW PLAN

SCALE 1:200



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rev	date	description
A	26/9	SHADOW DIAGRAMS



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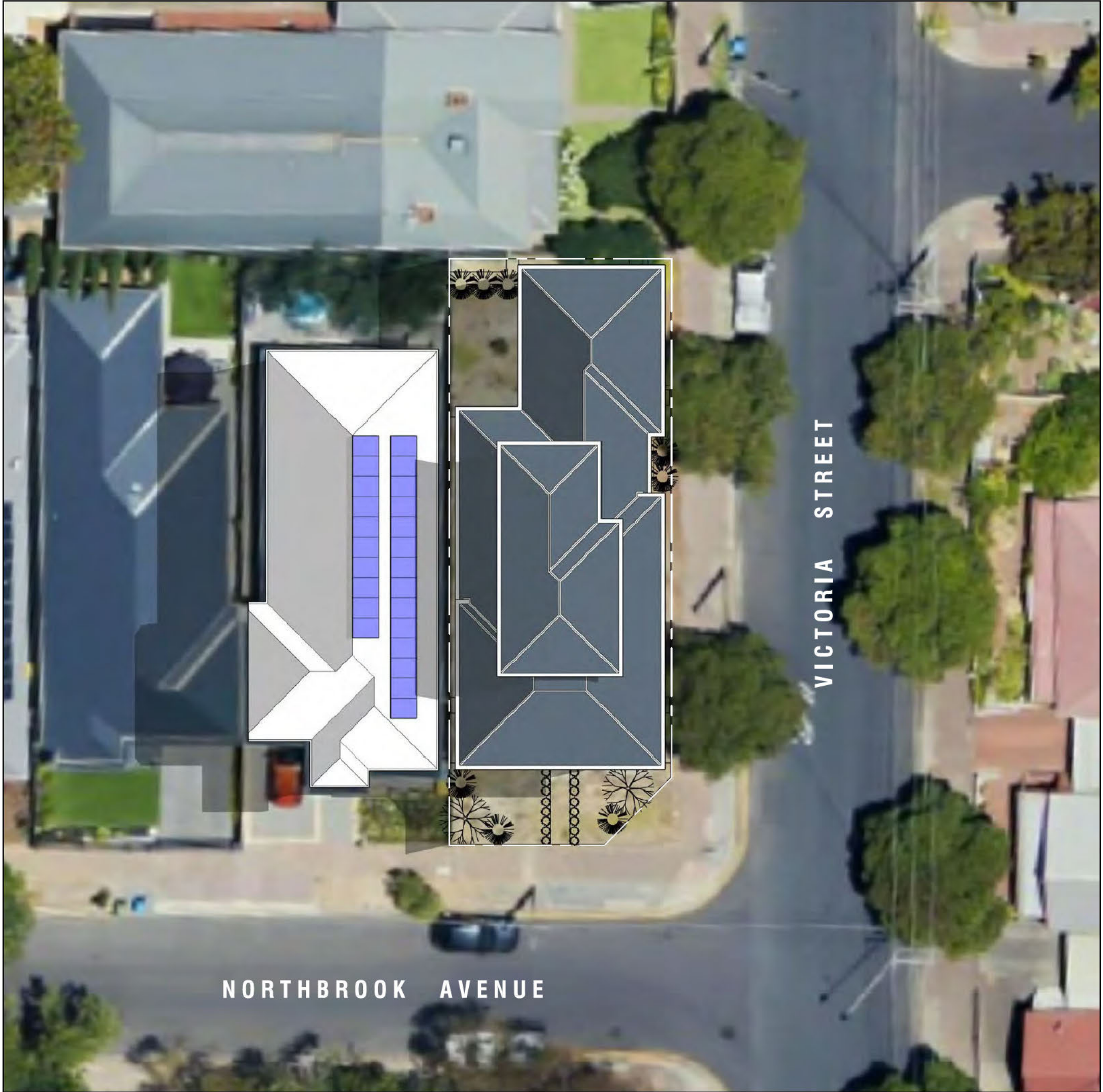
Level 1, Suite 1 / 395 Payneham Road MARDEN SA 5070
P:(08) 8363 3331 E:admin@easternbuildgroup.com.au

project:	NORTHBROOK AVE RESIDENCE	date:	MARCH 2022	drawn by:	LD
at:	2D NORTHBROOK AVENUE FORESTVILLE SA 5035	scale:	1:200	drawing no:	03
client:	T CROSS	project no:	EBG.223	sheet size:	A3

SHADING DIAGRAM

JUNE 21 @ 1:00pm


SCALE 1:200 @ A3



SITE/SHADOW PLAN

SCALE 1:200

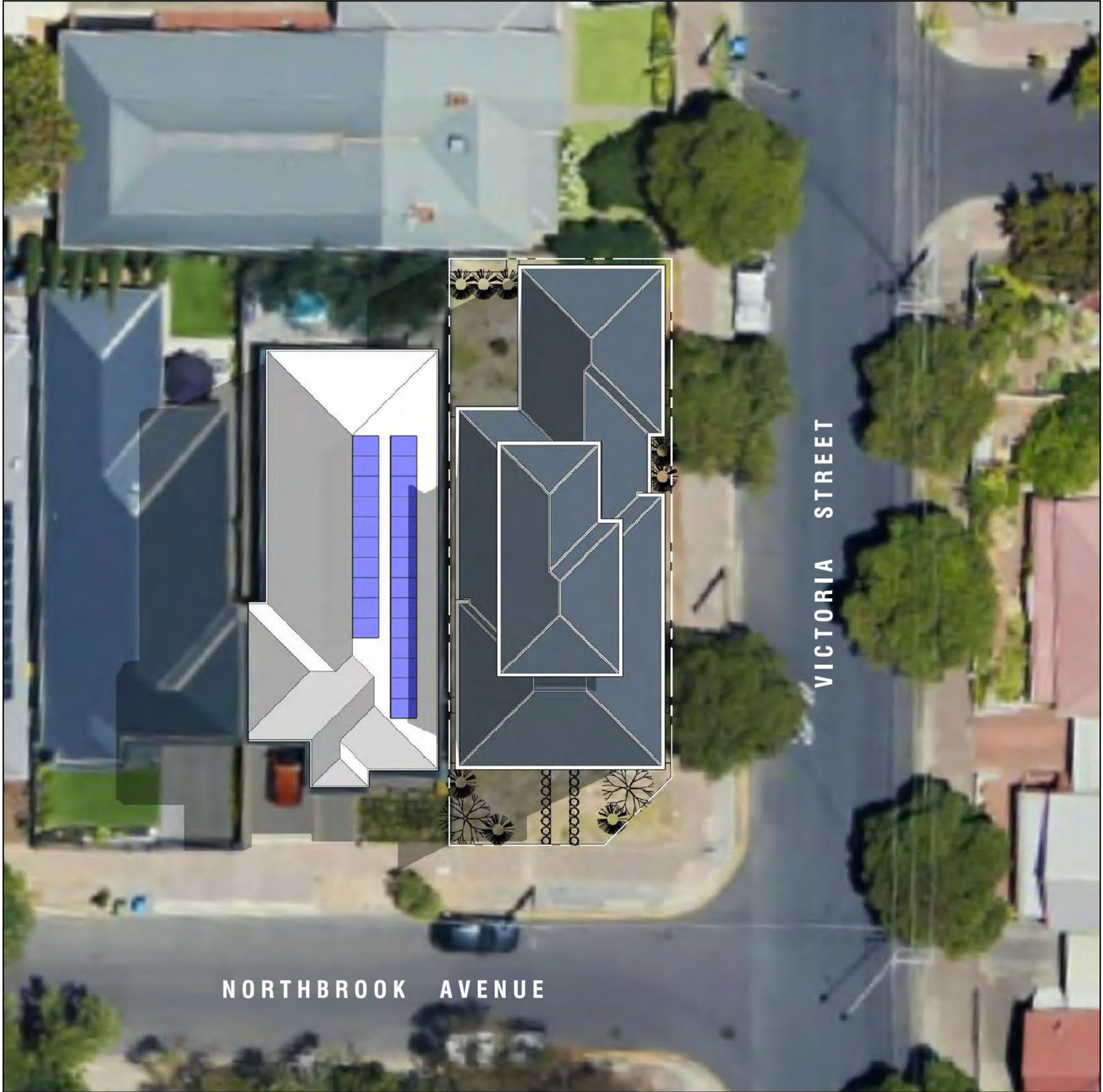


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	A	26/9	SHADOW DIAGRAMS		at:	2D NORTHBROOK AVENUE FORESTVILLE SA 5035	scale:	1:200	drawing no:	05
SHADOW DIAGRAMS					client:	T CROSS	project no:	EBG.223	sheet size:	36 A3

SHADING DIAGRAM

JUNE 21 @ 2:00pm

SCALE 1:200 @ A3



SITE/SHADOW PLAN

SCALE 1:200



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rev	date	description
A	26/9	SHADOW DIAGRAMS



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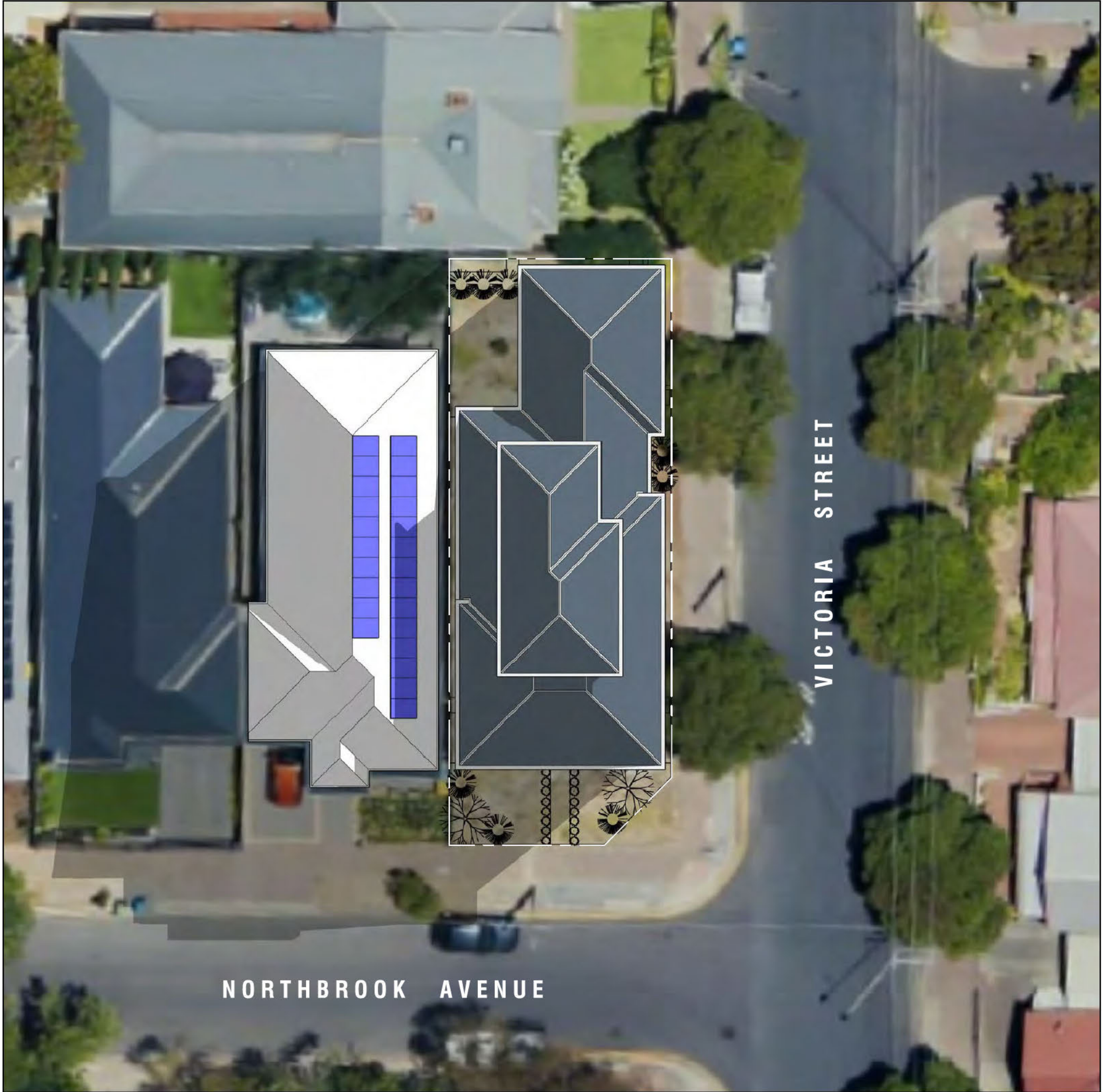
Level 1, Suite 1 / 395 Payneham Road MARDEN SA 5070
P:(08) 8363 3331 E:admin@easternbuildgroup.com.au

project:	NORTHBROOK AVE RESIDENCE	date:	MARCH 2022	drawn by:	LD
at:	2D NORTHBROOK AVENUE FORESTVILLE SA 5035	scale:	1:200	drawing no:	06
client:	T CROSS	project no:	EBG.223	sheet size:	37 A3

SHADING DIAGRAM

JUNE 21 @ 3:00pm

SCALE 1:200 @ A3



SITE/SHADOW PLAN

SCALE 1:200



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rev	date	description
A	26/9	SHADOW DIAGRAMS

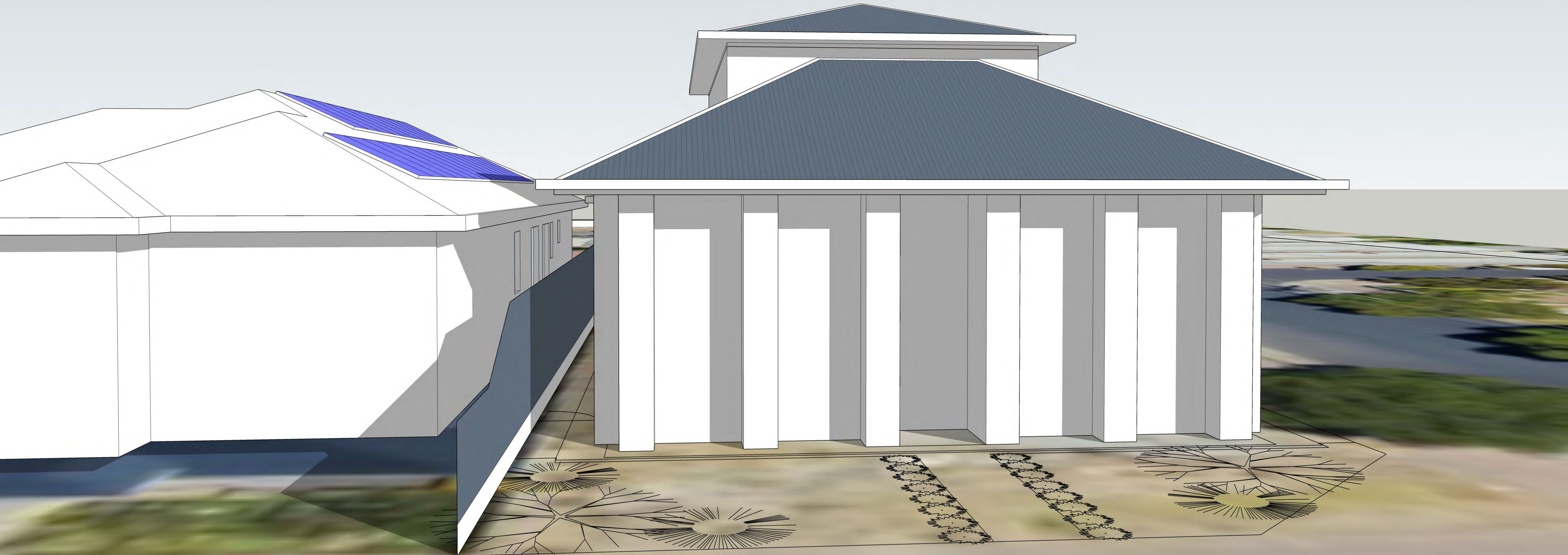


EASTERN BUILDING GROUP PTY LTD

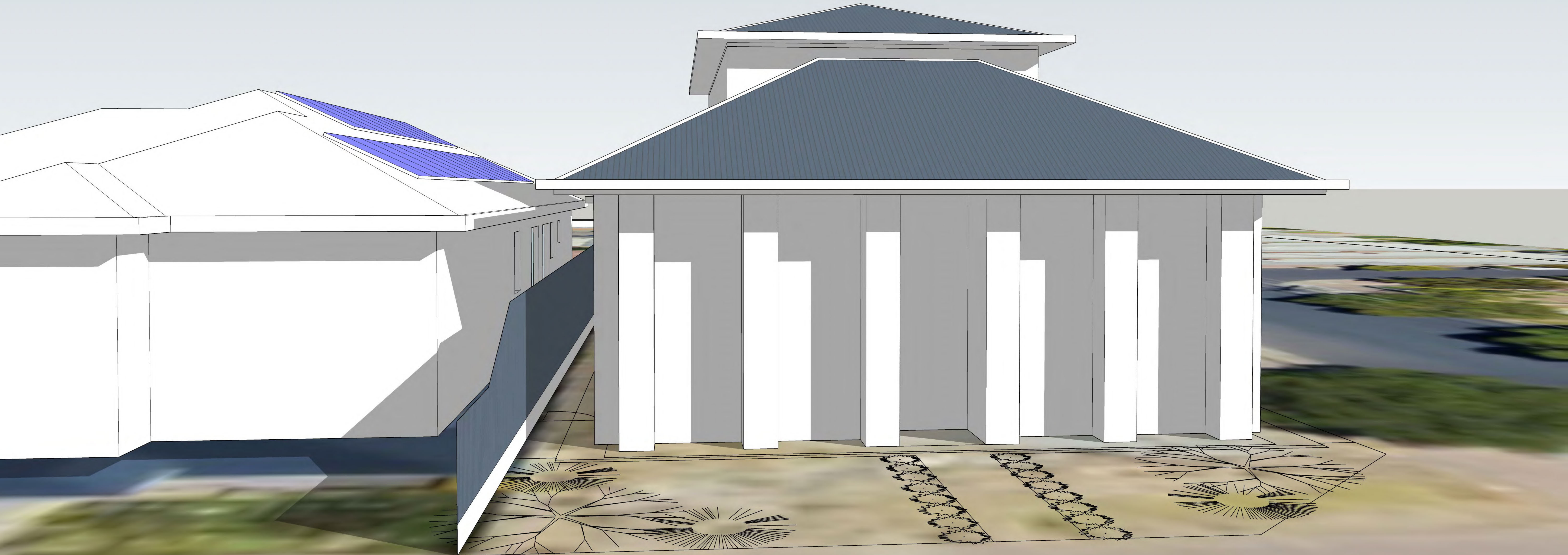
Level 1, Suite 1 / 395 Payneham Road MARDEN SA 5070
P:(08) 8363 3331 E:admin@easternbuildgroup.com.au

project:	NORTHBROOK AVE RESIDENCE	date:	MARCH 2022	drawn by:	LD
at:	2D NORTHBROOK AVENUE FORESTVILLE SA 5035	scale:	1:200	drawing no:	07
client:	T CROSS	project no:	EBG.223	sheet size:	A3
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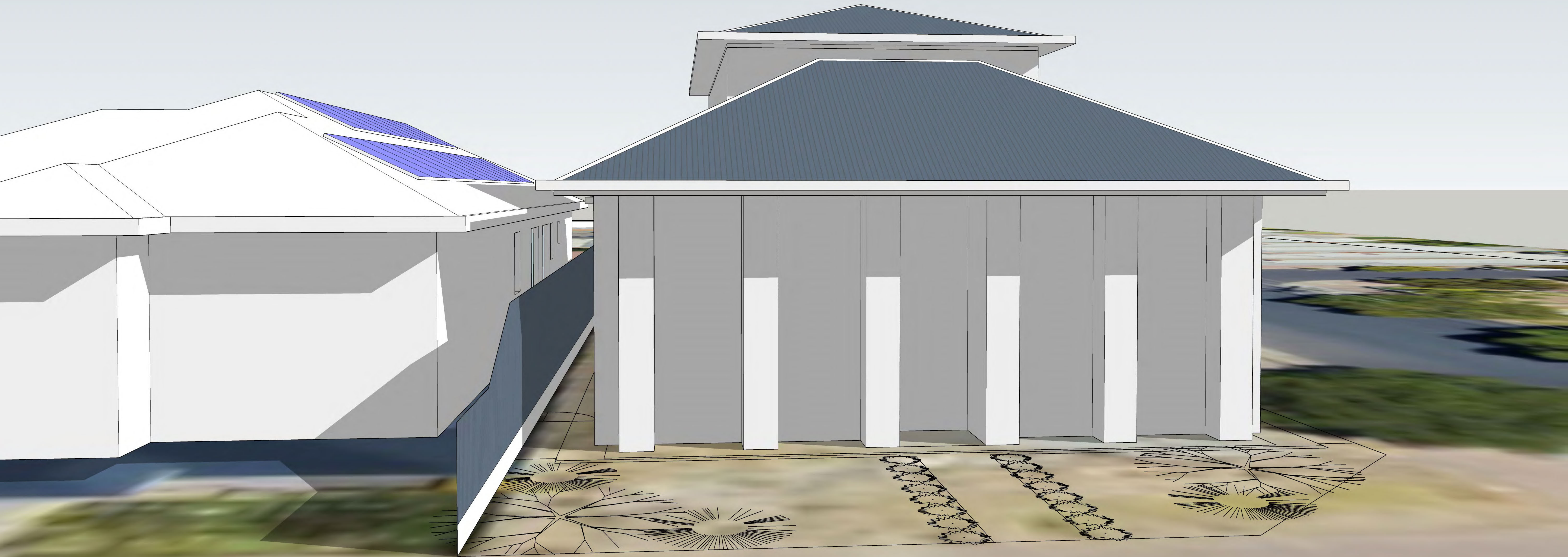
JUNE 21st @ 9am



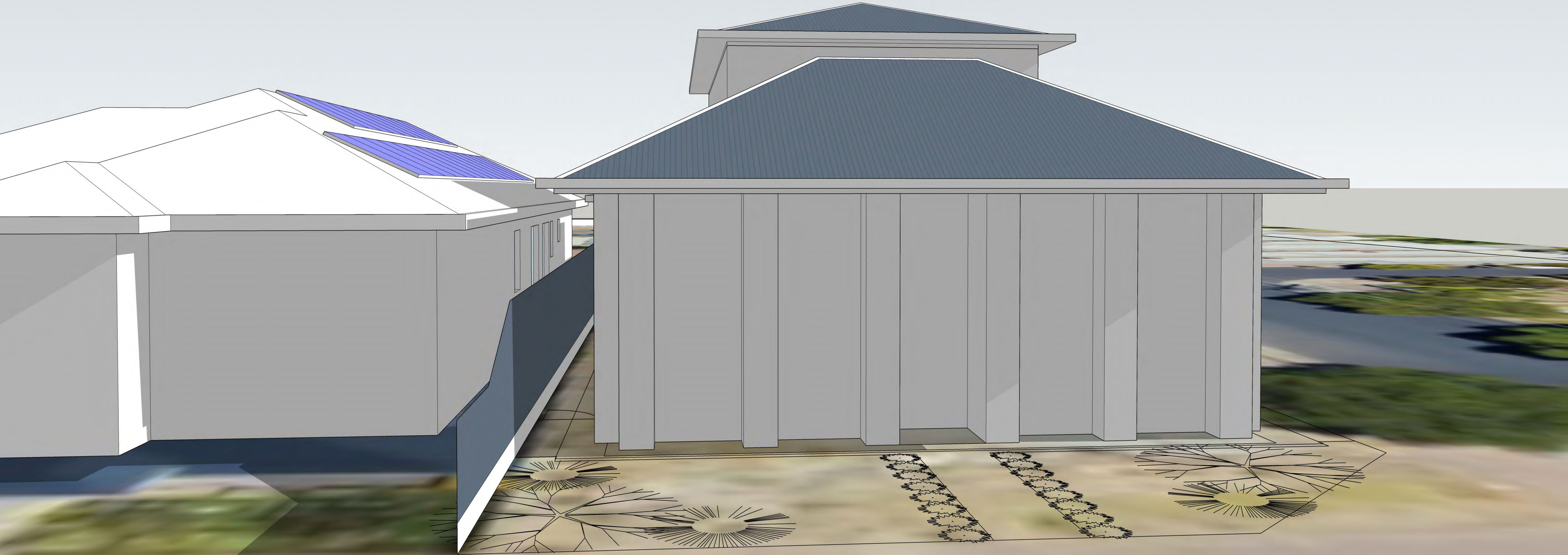
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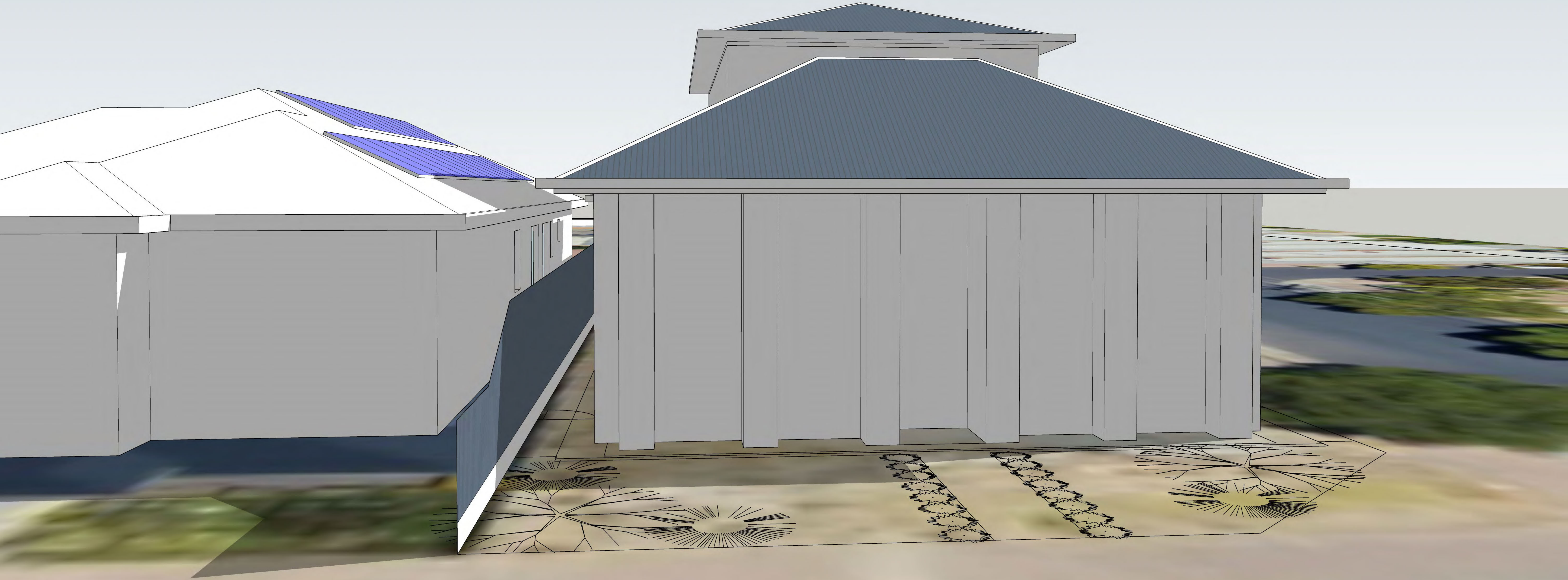
JUNE 21st @ 11am



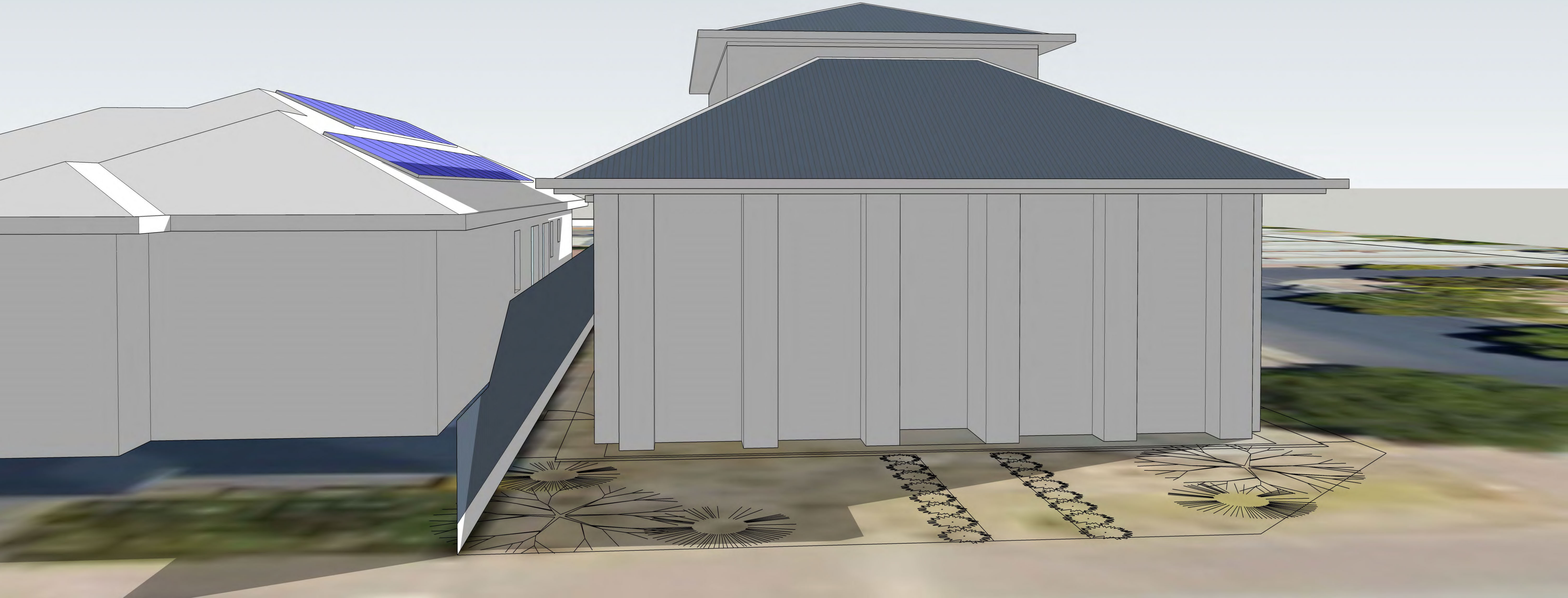
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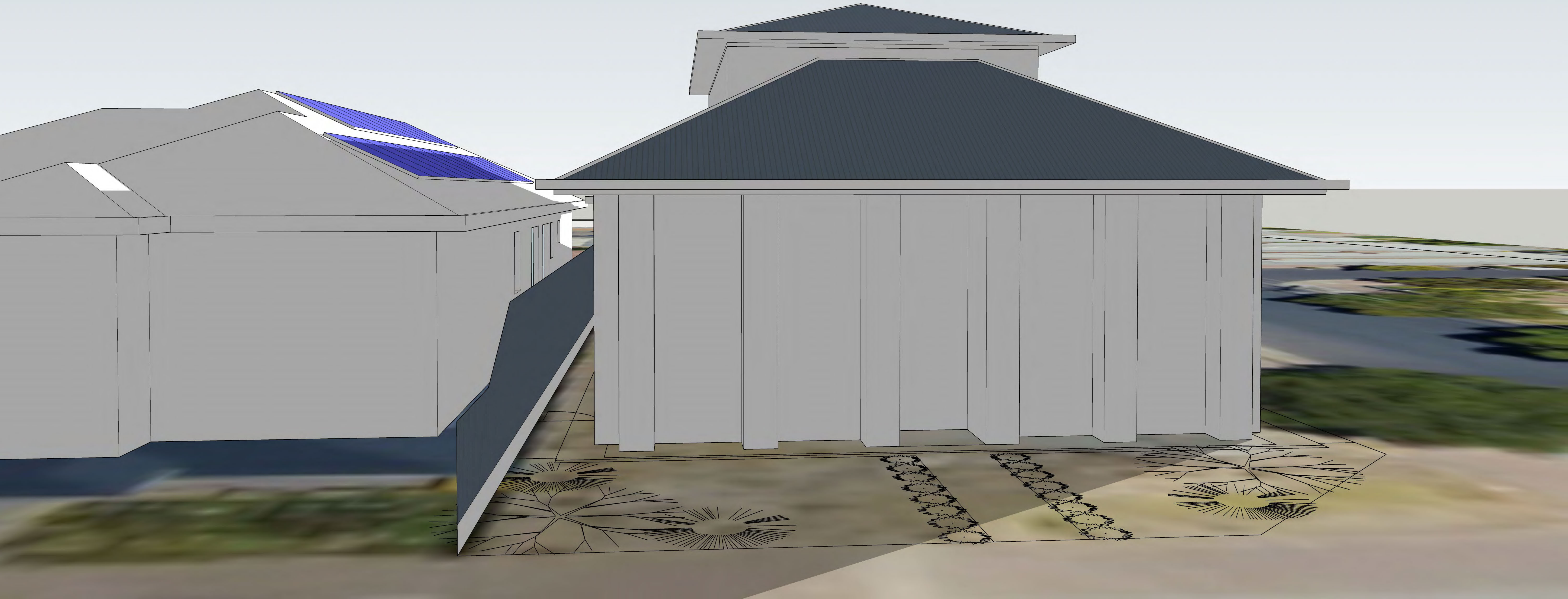
JUNE 21st @ 1pm



JUNE 21st @ 2pm



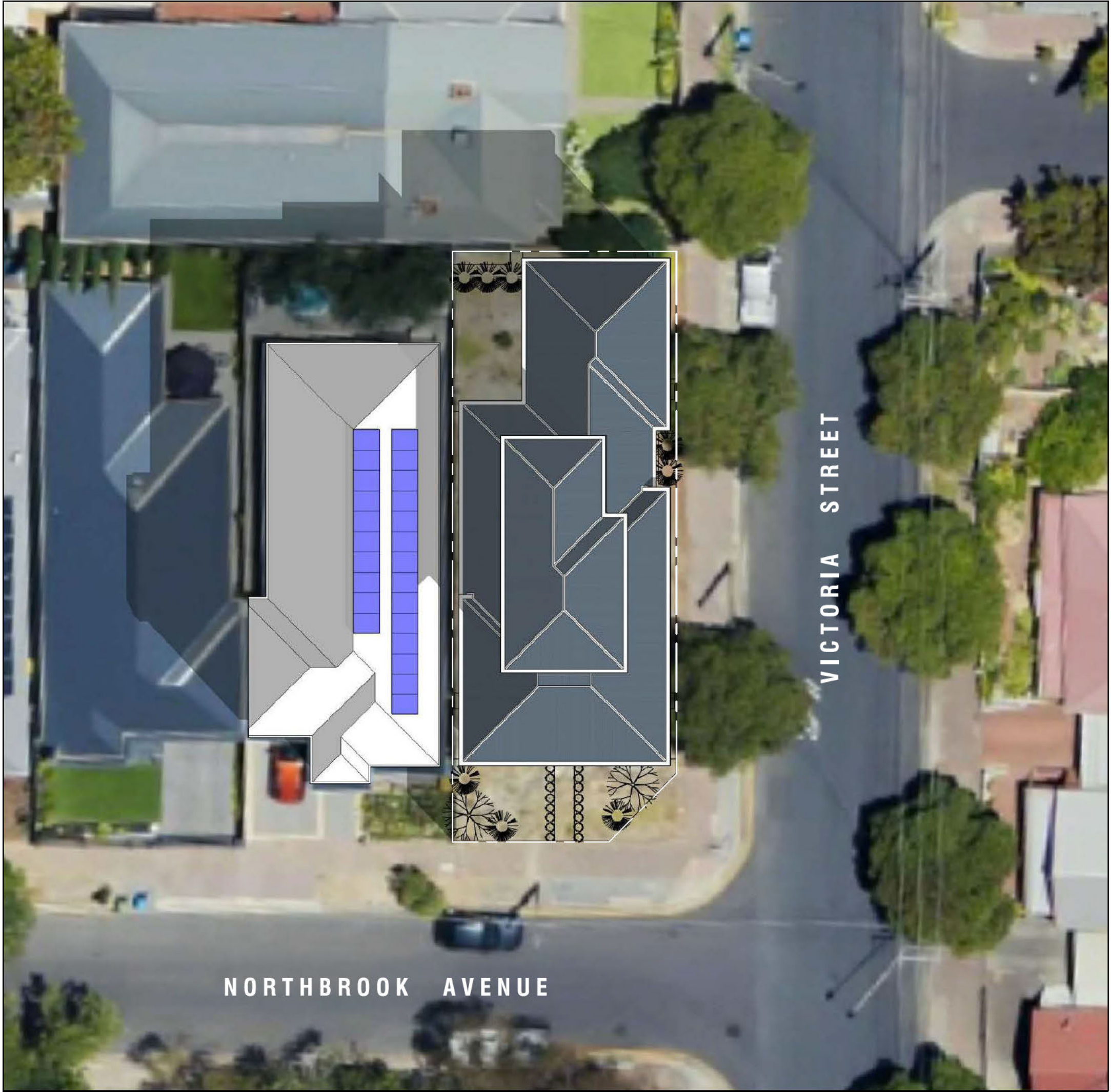
JUNE 21st @ 3pm



SHADING DIAGRAM

JUNE 7 @ 9:00am

SCALE 1:200 @ A3



SITE/SHADOW PLAN

SCALE 1:200



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rev	date	description
A	12/10	SHADOW DIAGRAMS

SHADOW DIAGRAMS



EASTERN BUILDING GROUP PTY LTD

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P:(08) 8363 3331 E:admin@easternbuildgroup.com.au

project: NORTHBROOK AVE RESIDENCE

at: 2D NORTHBROOK AVENUE FORESTVILLE SA 5035

client: T CROSS

date: MARCH 2022 drawn by: LD

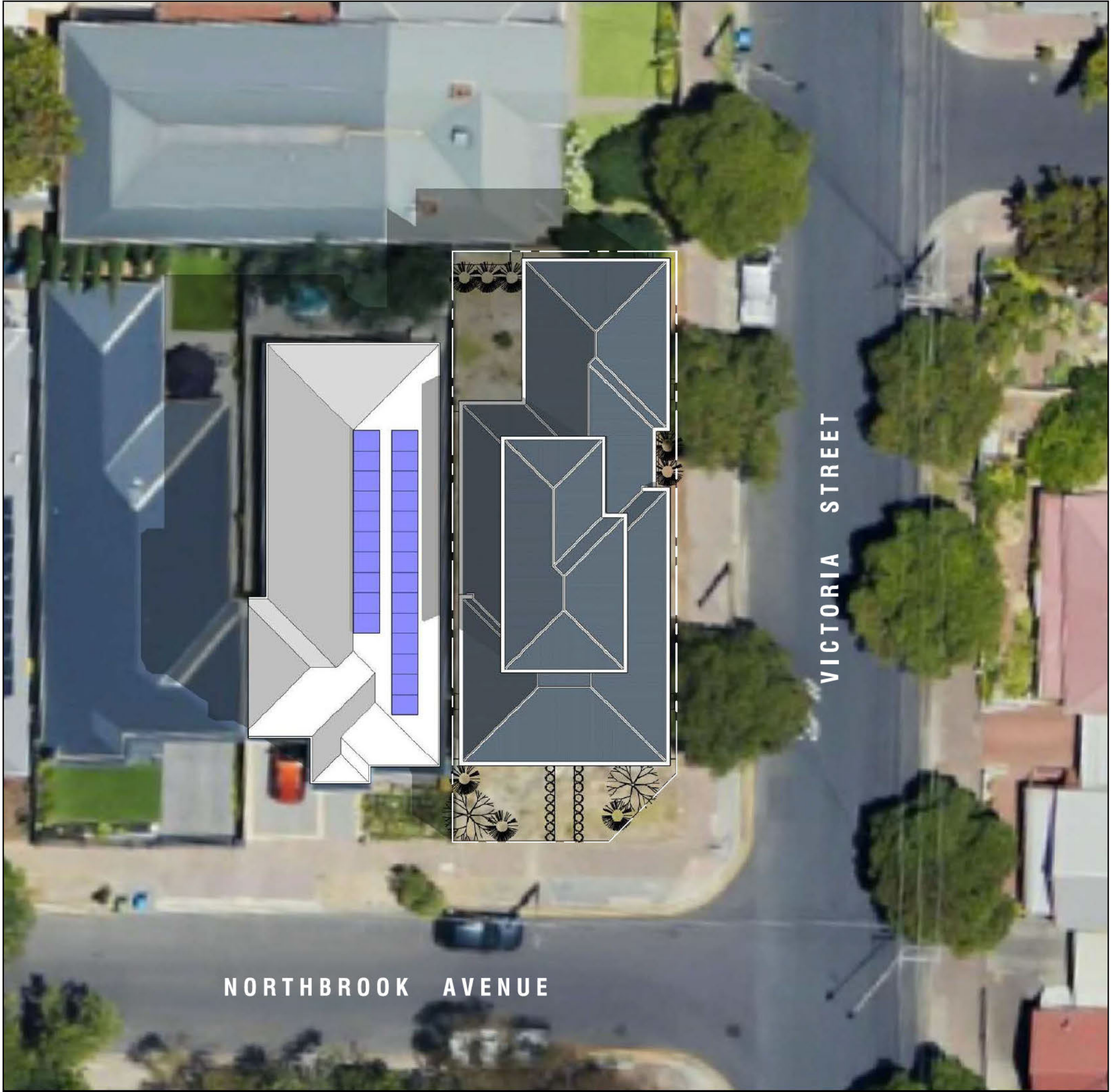
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project no: sheet size:

EBG.223 46 A3

SHADING DIAGRAM

JUNE 7 @ 10:00am

SCALE 1:200 @ A3



SITE/SHADOW PLAN

SCALE 1:200



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rev	date	description
A	12/10	SHADOW DIAGRAMS



EASTERN BUILDING GROUP PTY LTD

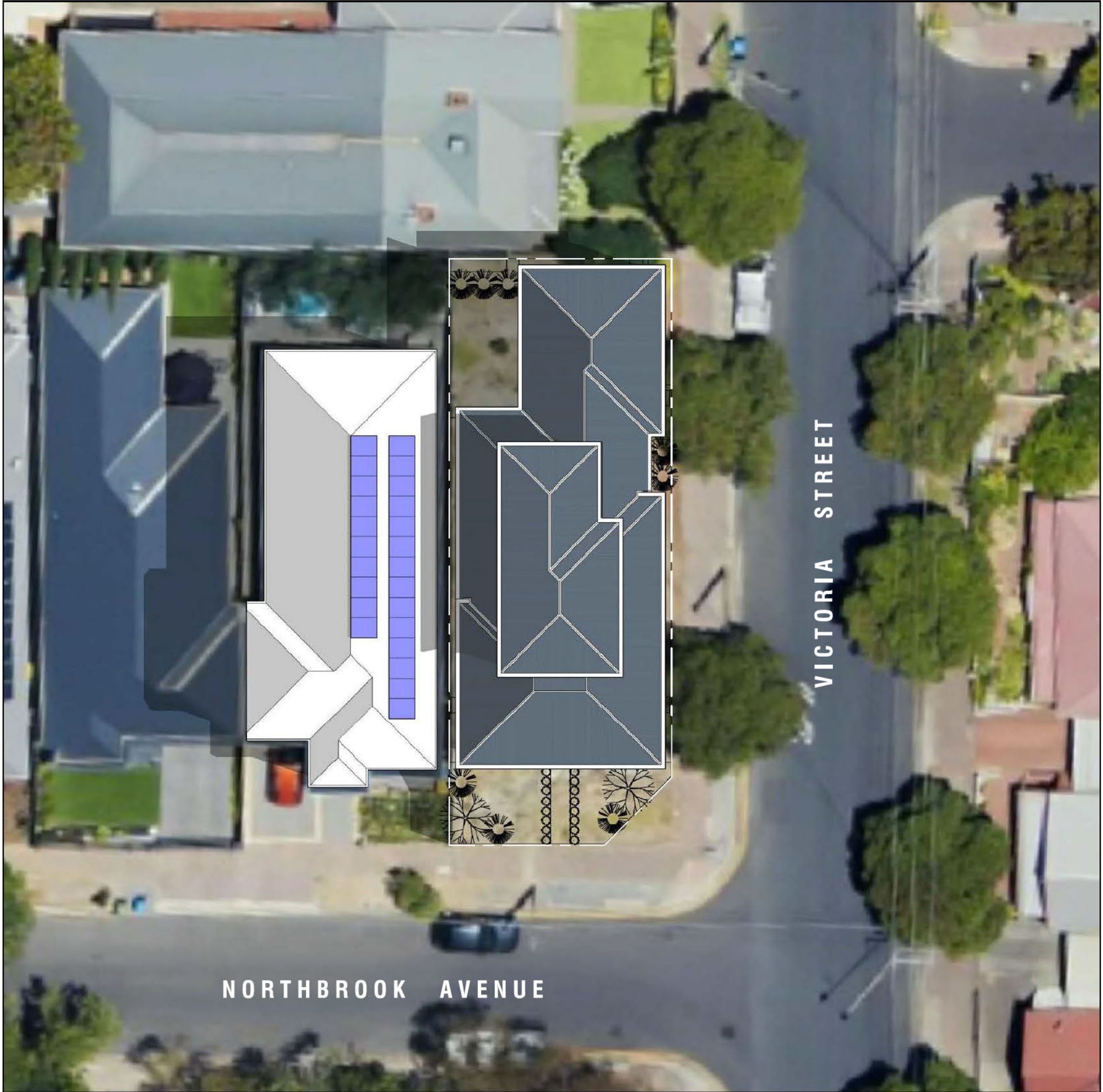
Level 1, Suite 1 / 395 Payneham Road MARDEN SA 5070
P:(08) 8363 3331 E:admin@easternbuildgroup.com.au

project:	NORTHBROOK AVE RESIDENCE	date:	MARCH 2022	drawn by:	LD
at:	2D NORTHBROOK AVENUE FORESTVILLE SA 5035	scale:	1:200	drawing no:	02
client:	T CROSS	project no:	EBG.223	sheet size:	A3

SHADING DIAGRAM

JUNE 7 @ 11:00am

SCALE 1:200 @ A3



SITE/SHADOW PLAN

SCALE 1:200



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rev	date	description
A	12/10	SHADOW DIAGRAMS

SHADOW DIAGRAMS



EASTERN BUILDING GROUP PTY LTD

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P:(08) 8363 3331 E:admin@easternbuildgroup.com.au

project: NORTHBROOK AVE RESIDENCE

at: 2D NORTHBROOK AVENUE FORESTVILLE SA 5035

client: T CROSS

date: MARCH 2022 drawn by: LD

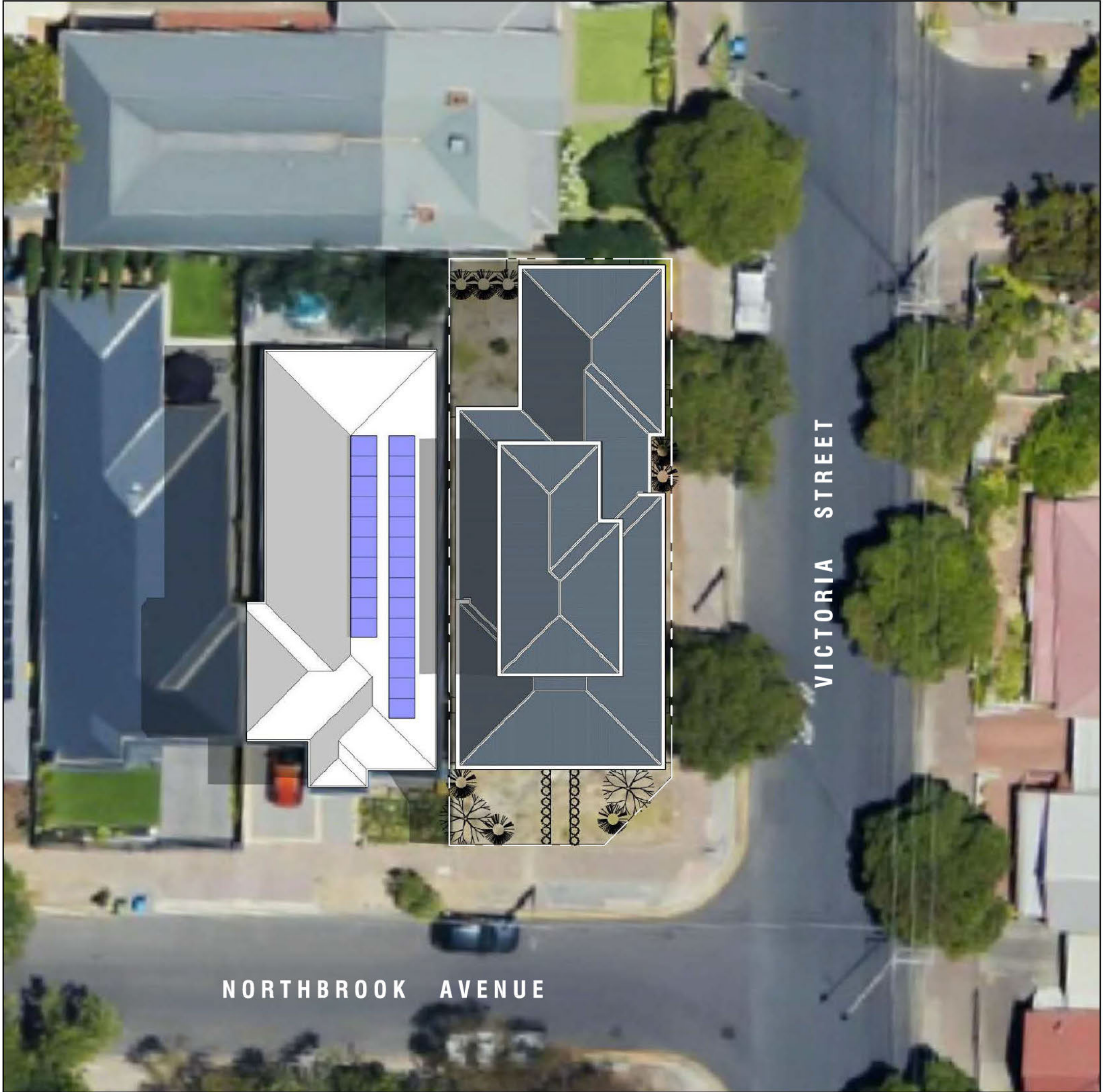
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project no: sheet size:

EBG.223 48 A3

SHADING DIAGRAM

JUNE 7 @ 12:00pm

SCALE 1:200 @ A3



SITE/SHADOW PLAN

SCALE 1:200



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rev	date	description
A	12/10	SHADOW DIAGRAMS



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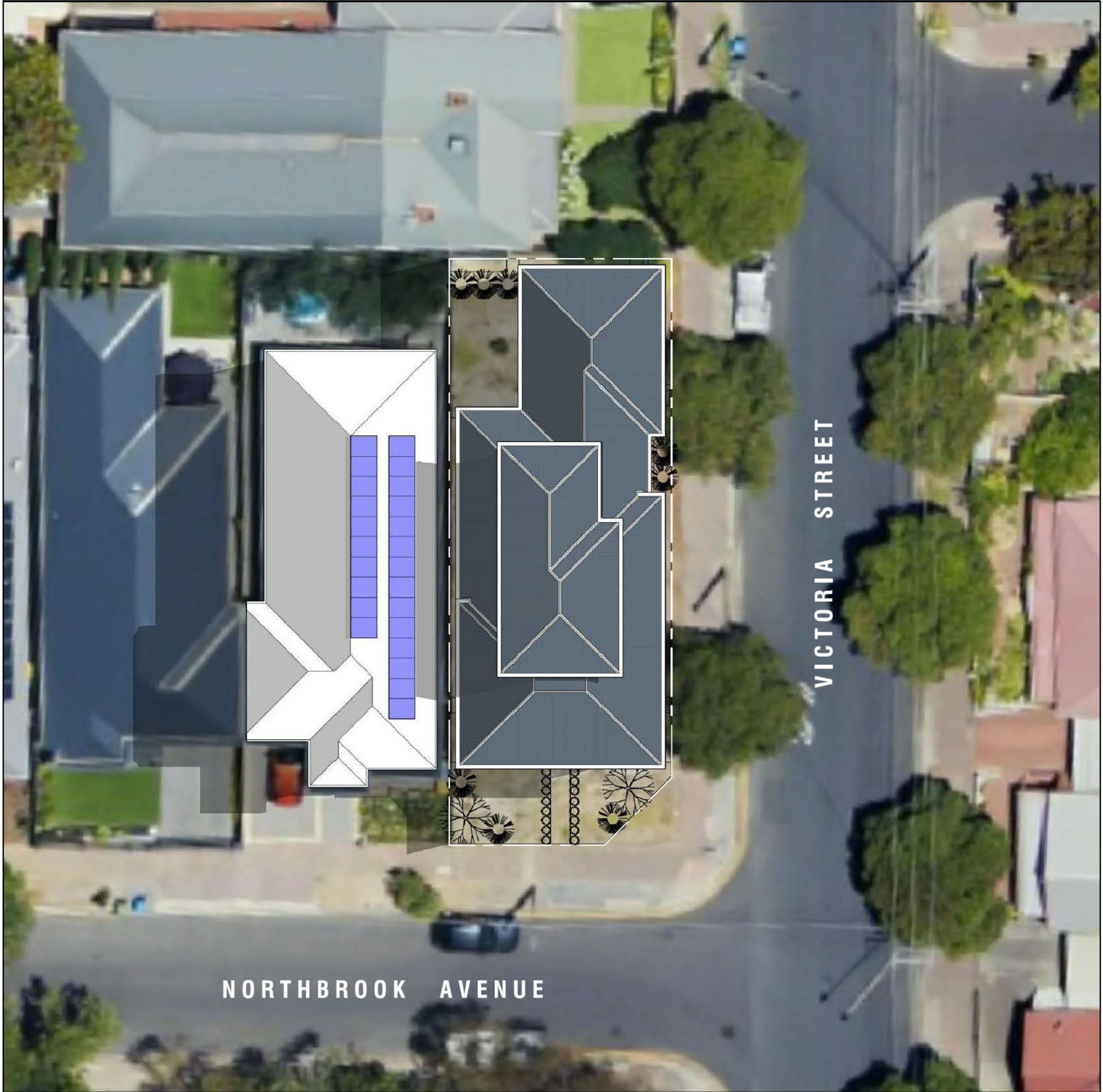
Level 1, Suite 1 / 395 Payneham Road MARDEN SA 5070
P:(08) 8363 3331 E:admin@easternbuildgroup.com.au

project:	NORTHBROOK AVE RESIDENCE	date:	MARCH 2022	drawn by:	LD
at:	2D NORTHBROOK AVENUE FORESTVILLE SA 5035	scale:	1:200	drawing no:	04
client:	T CROSS	project no:	EBG.223	sheet size:	A3

SHADING DIAGRAM

JUNE 7 @ 1:00pm


SCALE 1:200 @ A3



SITE/SHADOW PLAN

SCALE 1:200

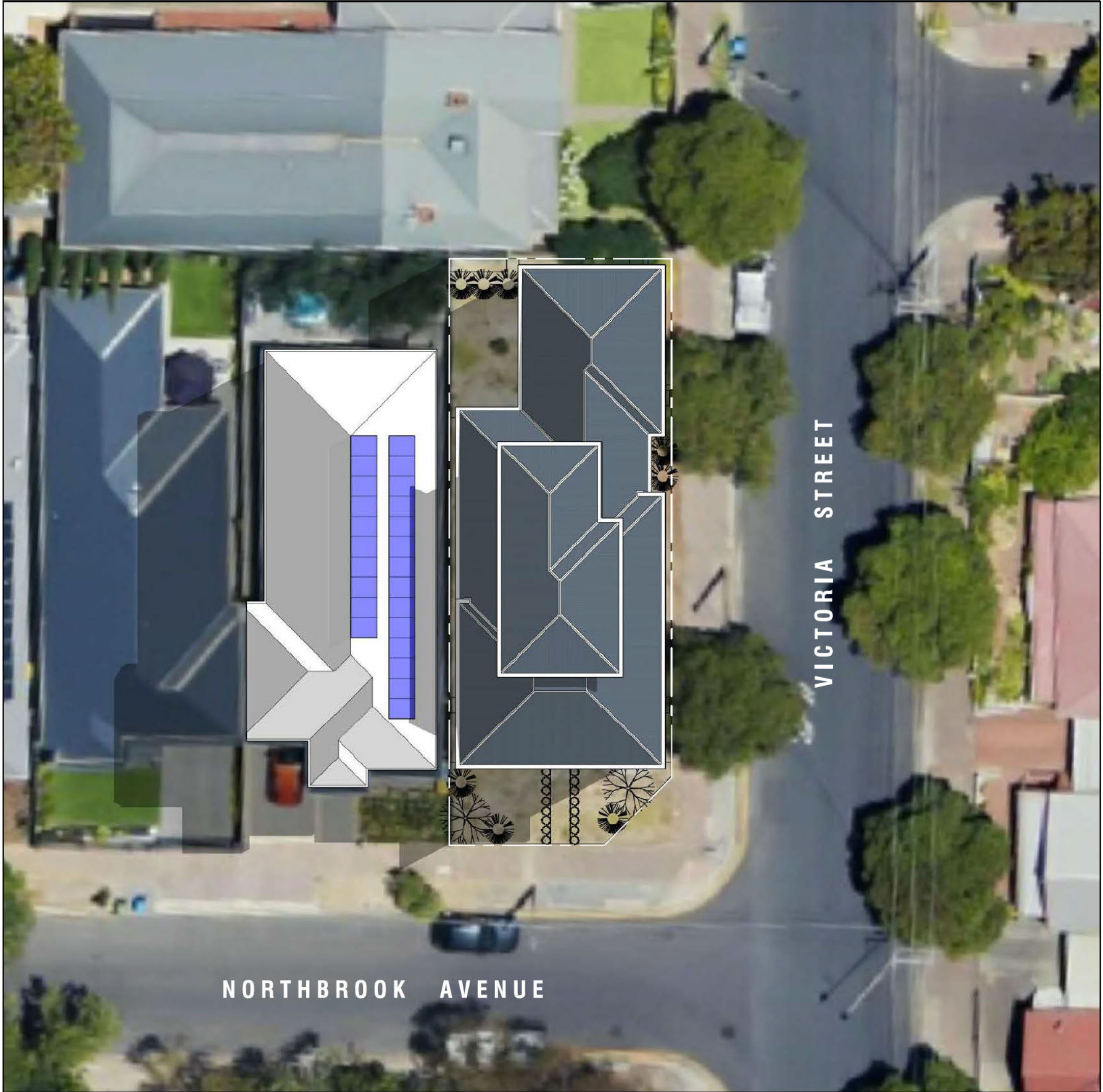


<small>Contractors to verify all dimensions prior to commencement of any building work. Figured dimensions shall take preference over scaled dimensions and any discrepancy shall be reported to the designer immediately. These drawings are the exclusive property of Verocchi Building Design. Any reproduction without written authority is prohibited. Copyright ©</small>	rev	date	description	 EASTERN BUILDING GROUP PTY LTD <small>Level 1, Suite 1 / 395 Payneham Road MARDEN SA 5070 P:(08) 8363 3331 E:admin@easternbuildgroup.com.au</small>	project:	NORTHBROOK AVE RESIDENCE	date: MARCH 2022	drawn by: LD	
	A	12/10	SHADOW DIAGRAMS		at:	2D NORTHBROOK AVENUE FORESTVILLE SA 5035	scale: 1:200	drawing no: 05	
SHADOW DIAGRAMS				client:	T CROSS	project no:	EBG.223	sheet size:	50 A3

SHADING DIAGRAM

JUNE 7 @ 2:00pm

SCALE 1:200 @ A3



SITE/SHADOW PLAN

SCALE 1:200



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rev	date	description
A	12/10	SHADOW DIAGRAMS



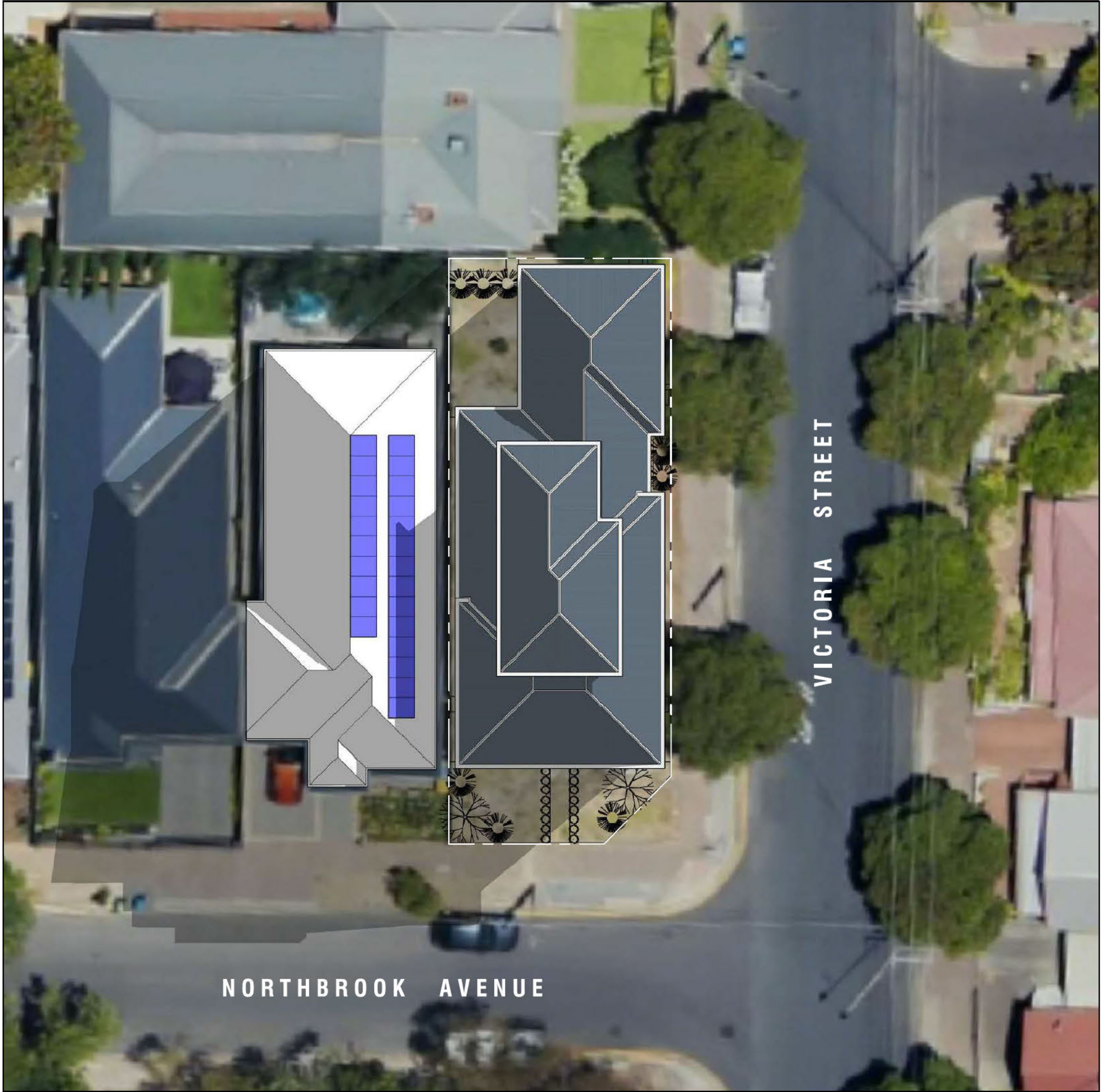
EASTERN BUILDING GROUP PTY LTD
Level 1, Suite 1 / 395 Payneham Road MARDEN SA 5070
P:(08) 8363 3331 E:admin@easternbuildgroup.com.au

project: NORTHBROOK AVE RESIDENCE date: MARCH 2022 drawn by: LD
at: 2D NORTHBROOK AVENUE FORESTVILLE SA 5035 scale: 1:200 drawing no: 06
project no: EBG.223 51 sheet size: A3
client: T CROSS

SHADING DIAGRAM

JUNE 7 @ 3:00pm

SCALE 1:200 @ A3



SITE/SHADOW PLAN

SCALE 1:200



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rev	date	description
A	12/10	SHADOW DIAGRAMS



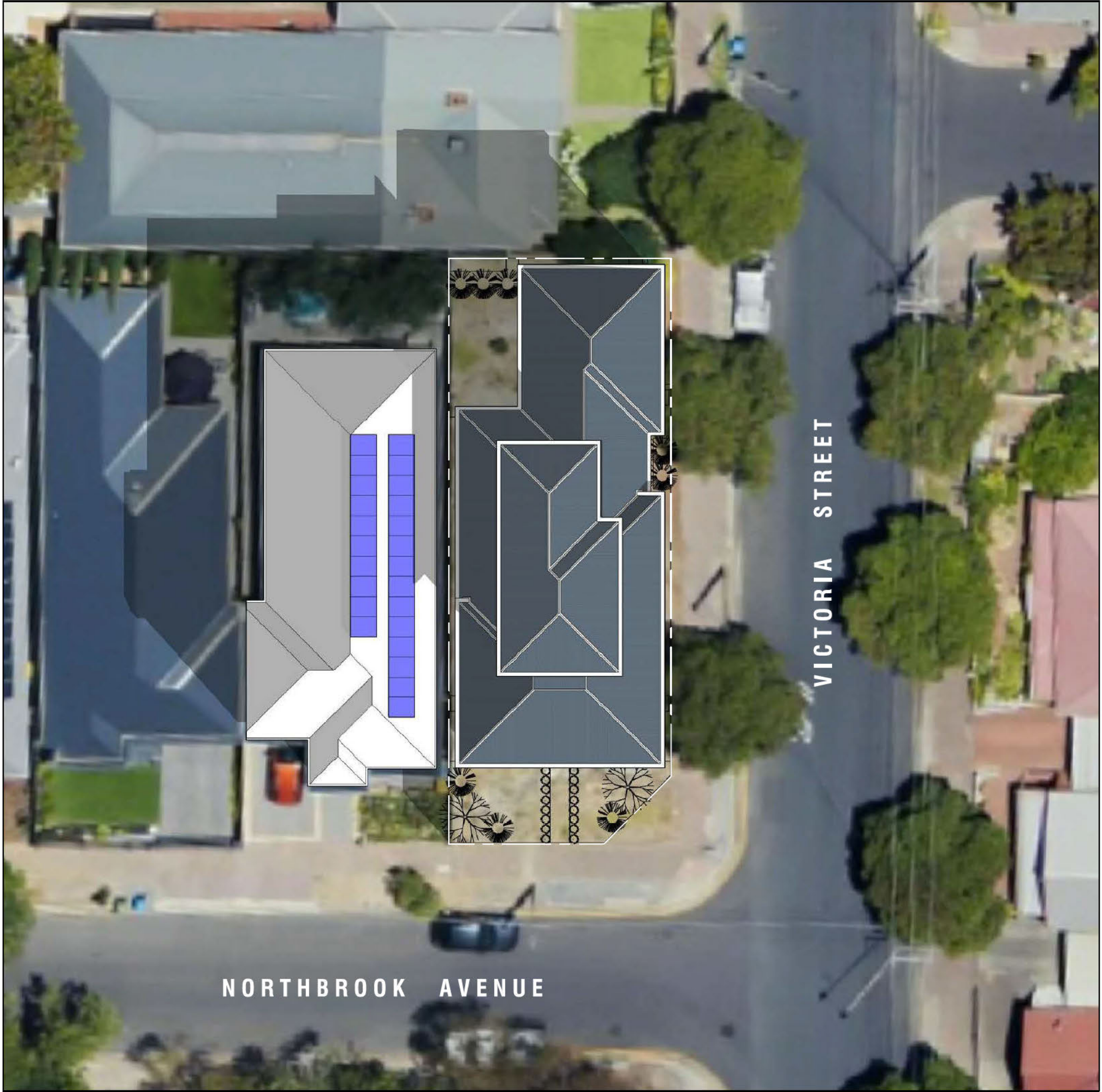
EASTERN BUILDING GROUP PTY LTD
 Level 1, Suite 1 / 395 Payneham Road MARDEN SA 5070
 P:(08) 8363 3331 E:admin@easternbuildgroup.com.au

project: NORTHBROOK AVE RESIDENCE date: MARCH 2022 drawn by: LD
 at: 2D NORTHBROOK AVENUE FORESTVILLE SA 5035 scale: 1:200 drawing no: 07
 project no: EBG.223 sheet size: 52 A3
 client: T CROSS

SHADING DIAGRAM

JULY 7 @ 9:00am

SCALE 1:200 @ A3



SITE/SHADOW PLAN

SCALE 1:200



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rev	date	description
A	12/10	SHADOW DIAGRAMS



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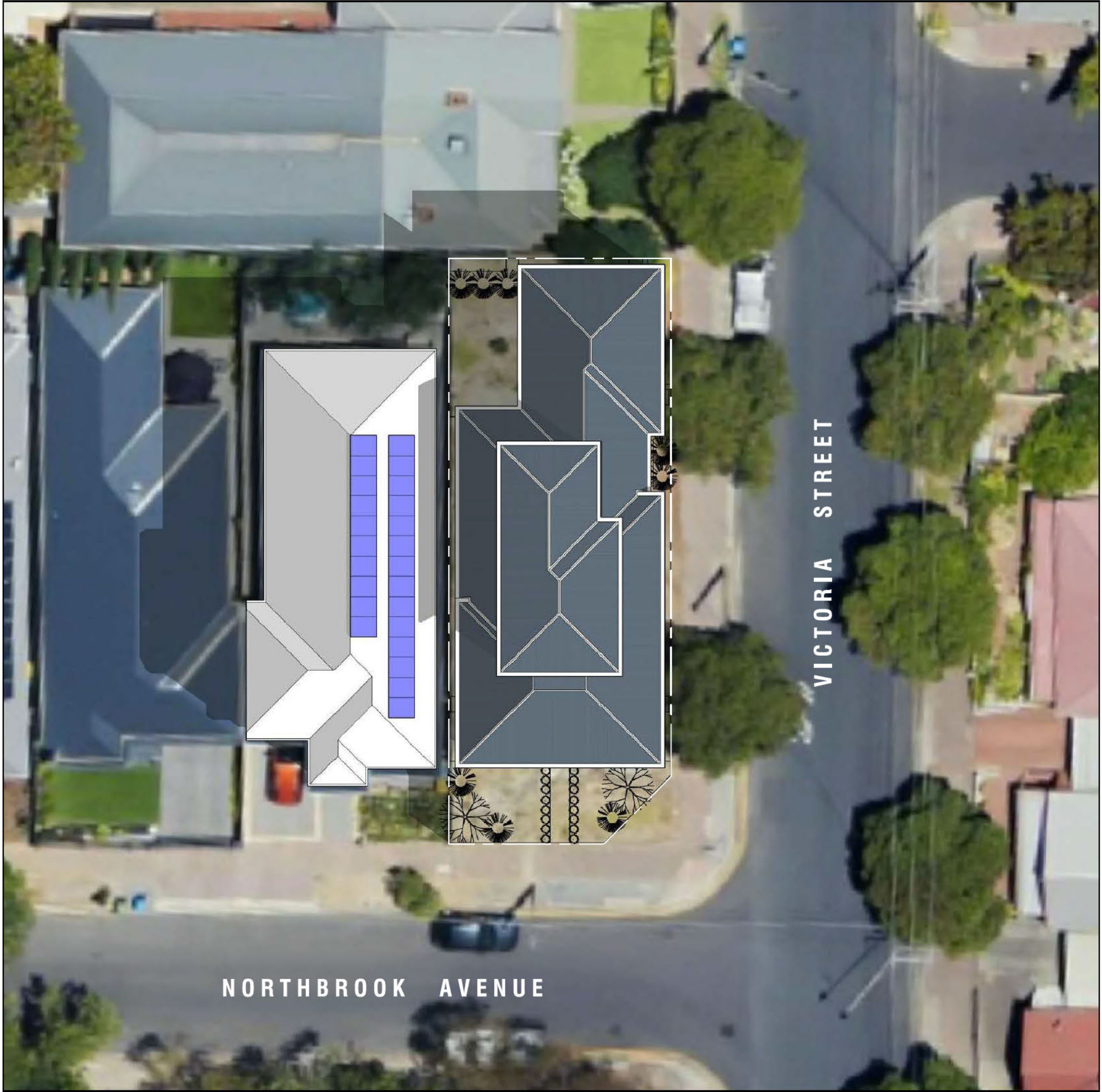
Level 1, Suite 1 / 395 Payneham Road MARDEN SA 5070
P:(08) 8363 3331 E:admin@easternbuildgroup.com.au

project:	NORTHBROOK AVE RESIDENCE	date:	MARCH 2022	drawn by:	LD
at:	2D NORTHBROOK AVENUE FORESTVILLE SA 5035	scale:	1:200	drawing no:	01
client:	T CROSS	project no:	EBG.223	sheet size:	A3

SHADING DIAGRAM

JULY 7 @ 10:00am

SCALE 1:200 @ A3



SITE/SHADOW PLAN

SCALE 1:200



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rev	date	description
A	12/10	SHADOW DIAGRAMS



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P:(08) 8363 3331 E:admin@easternbuildgroup.com.au

project: NORTHBROOK AVE RESIDENCE

at: 2D NORTHBROOK AVENUE FORESTVILLE SA 5035

client: T CROSS

date: MARCH 2022 drawn by: LD

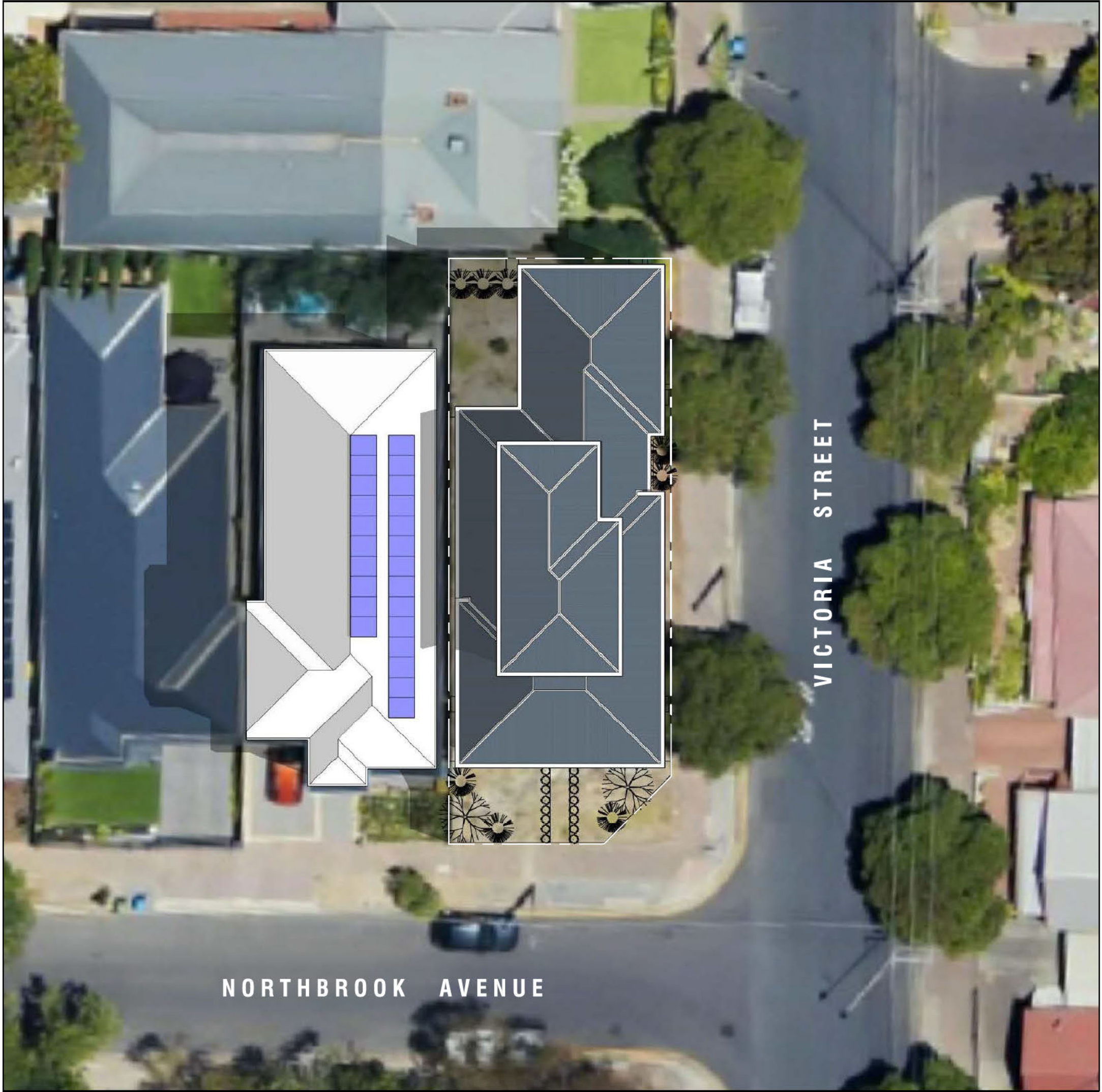
scale: 1:200 drawing no: 02
project no: sheet size:

EBG.223 54 A3

SHADING DIAGRAM

JULY 7 @ 11:00am

SCALE 1:200 @ A3



SITE/SHADOW PLAN

SCALE 1:200



Contractors to verify all dimensions prior to commencement of any building work. Figured dimensions shall take preference over scaled dimensions and any discrepancy shall be reported to the designer immediately. These drawings are the exclusive property of Verrocchi Building Design. Any reproduction without written authority is prohibited. Copyright ©

rev	date	description
A	12/10	SHADOW DIAGRAMS

SHADOW DIAGRAMS



EASTERN BUILDING GROUP PTY LTD

Level 1, Suite 1 / 395 Payneham Road MARDEN SA 5070
P:(08) 8363 3331 E:admin@easternbuildgroup.com.au

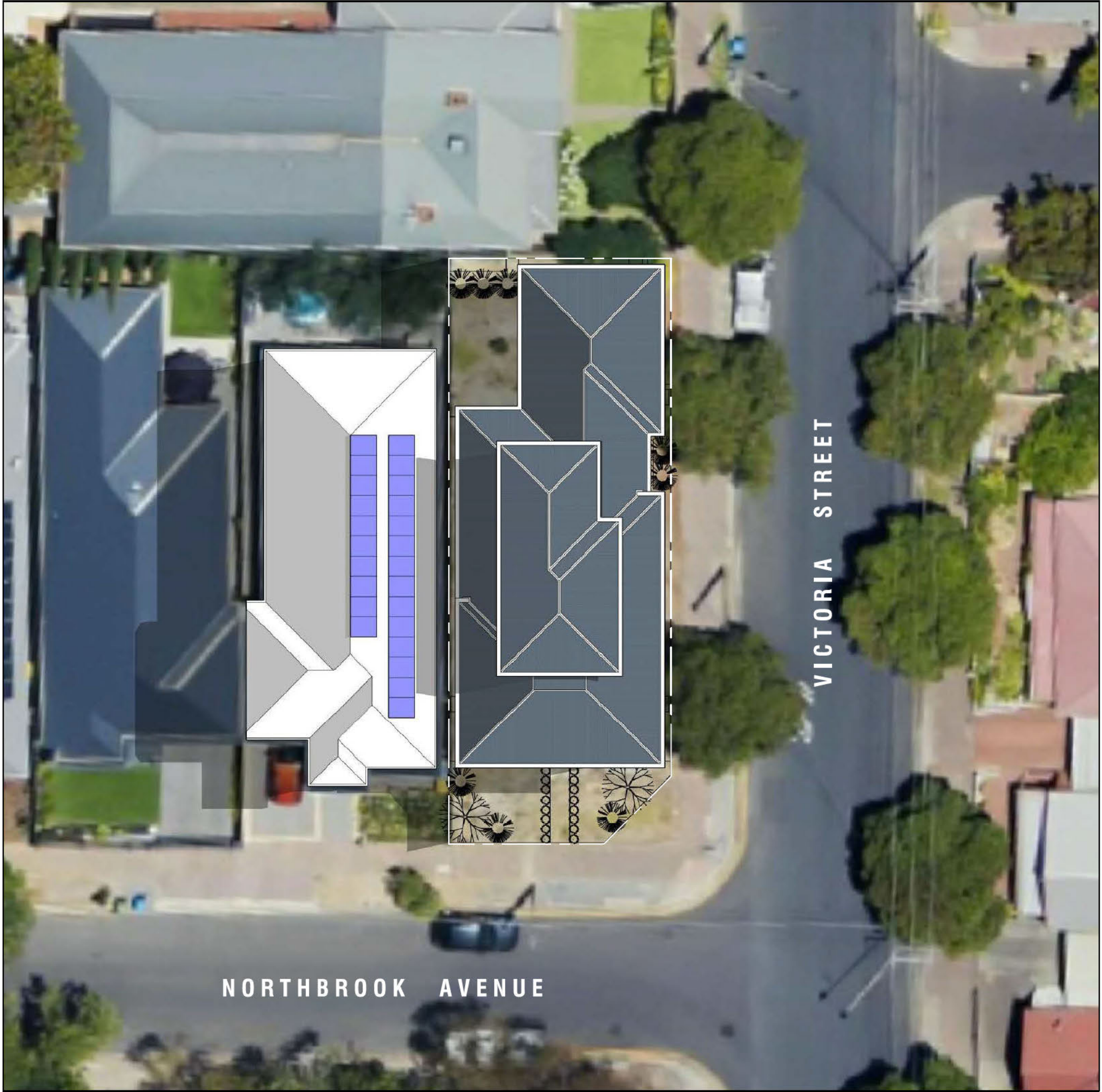
project:	NORTHBROOK AVE RESIDENCE	date:	MARCH 2022	drawn by:	LD
at:	2D NORTHBROOK AVENUE FORESTVILLE SA 5035	scale:	1:200	drawing no:	03
client:	T CROSS	project no:	EBG.223	sheet size:	A3

55

SHADING DIAGRAM

JULY 7 @ 1:00pm

SCALE 1:200 @ A3



SITE/SHADOW PLAN

SCALE 1:200



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rev	date	description
A	12/10	SHADOW DIAGRAMS

SHADOW DIAGRAMS



EASTERN BUILDING GROUP PTY LTD

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P:(08) 8363 3331 E:admin@easternbuildgroup.com.au

project:

NORTHBROOK AVE RESIDENCE

date: MARCH 2022 drawn by: LD

at: 2D NORTHBROOK AVENUE
FORESTVILLE SA 5035

scale: 1:200 drawing no: 05
project no: sheet size:

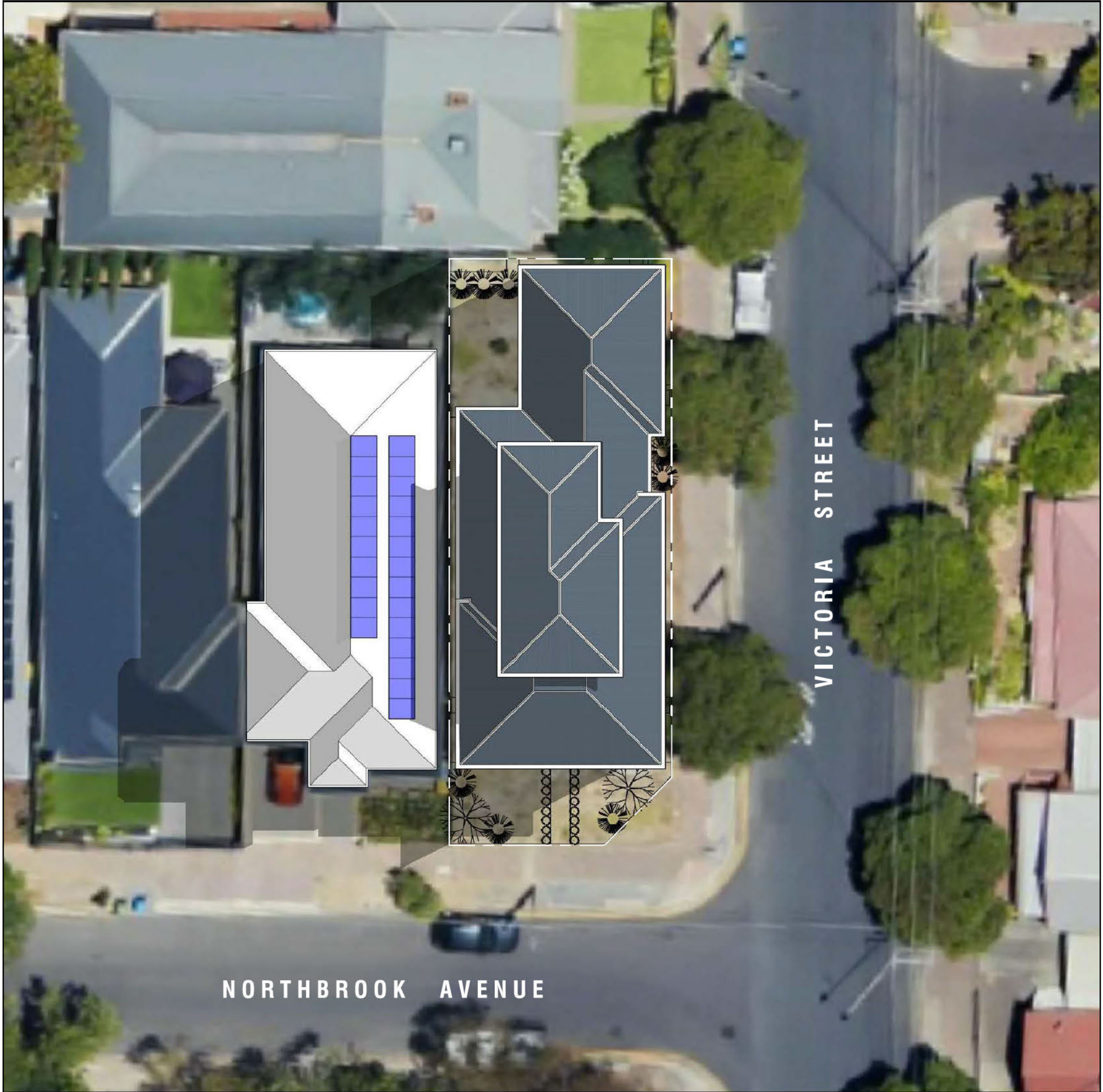
client: T CROSS

EBG.223 57 A3

SHADING DIAGRAM

JULY 7 @ 2:00pm

SCALE 1:200 @ A3



SITE/SHADOW PLAN

SCALE 1:200



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rev	date	description
A	12/10	SHADOW DIAGRAMS



EASTERN BUILDING GROUP PTY LTD

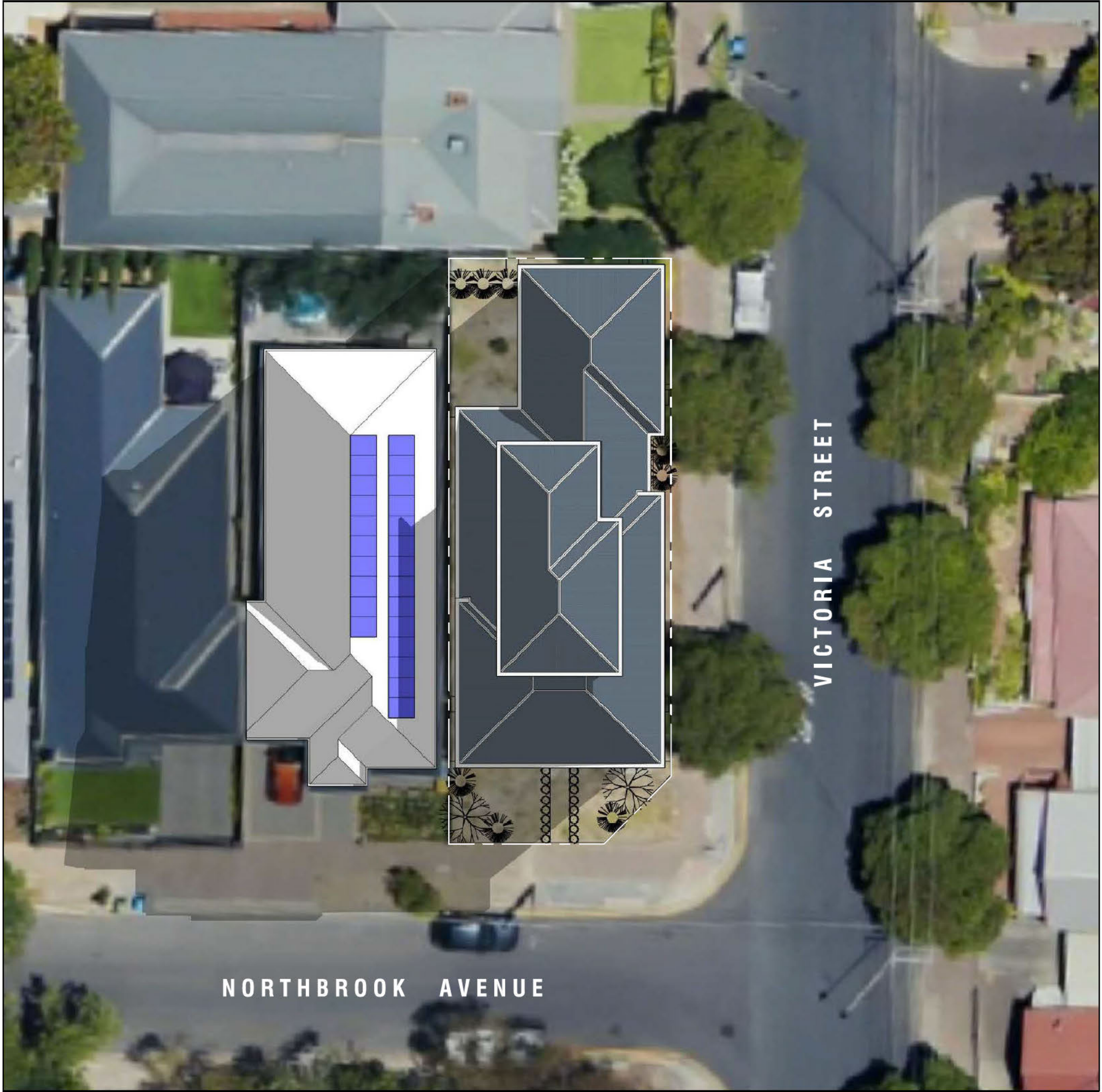
Level 1, Suite 1 / 395 Payneham Road MARDEN SA 5070
P:(08) 8363 3331 E:admin@easternbuildgroup.com.au

project:	NORTHBROOK AVE RESIDENCE	date:	MARCH 2022	drawn by:	LD
at:	2D NORTHBROOK AVENUE FORESTVILLE SA 5035	scale:	1:200	drawing no:	06
client:	T CROSS	project no:	EBG.223	sheet size:	A3

SHADING DIAGRAM

JULY 7 @ 3:00pm

SCALE 1:200 @ A3



SITE/SHADOW PLAN

SCALE 1:200



Contractors to verify all dimensions prior to commencement of any building work. Figured dimensions shall take preference over scaled dimensions and any discrepancy shall be reported to the designer immediately. These drawings are the exclusive property of Verocchi Building Design. Any reproduction without written authority is prohibited. Copyright ©

rev	date	description
A	12/10	SHADOW DIAGRAMS

SHADOW DIAGRAMS



EASTERN BUILDING GROUP PTY LTD

Level 1, Suite 1 / 395 Payneham Road MARDEN SA 5070
P:(08) 8363 3331 E:admin@easternbuildgroup.com.au

project: NORTHBROOK AVE RESIDENCE

at: 2D NORTHBROOK AVENUE FORESTVILLE SA 5035

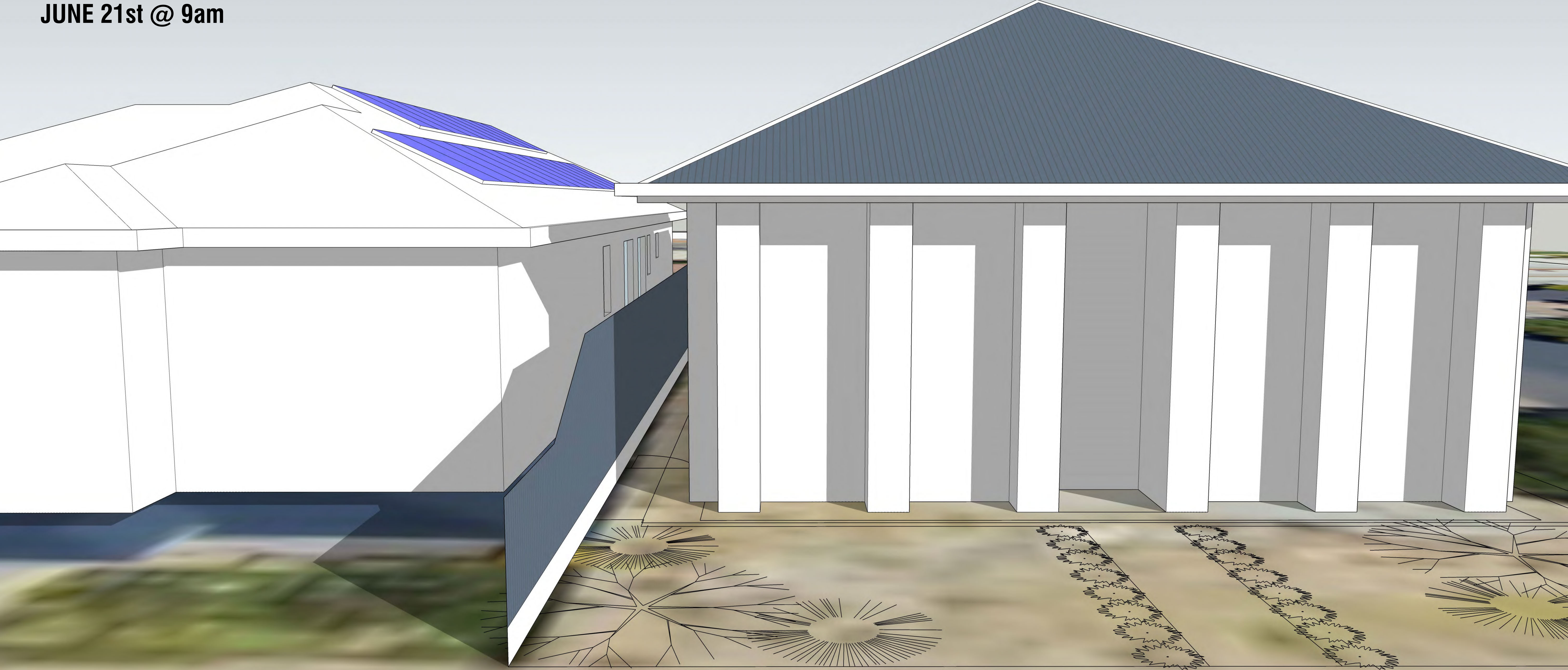
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date: MARCH 2022 drawn by: LD

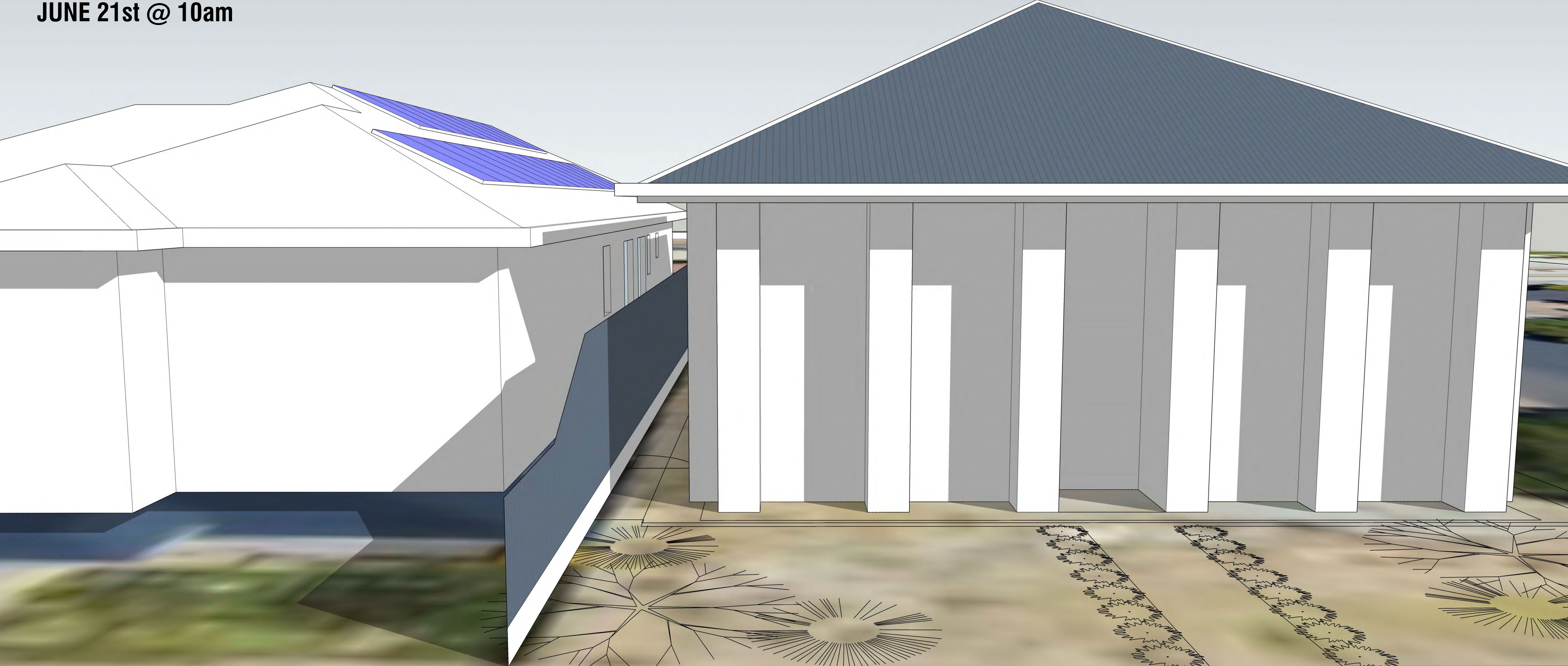
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project no: sheet size:

EBG.223 **59** A3

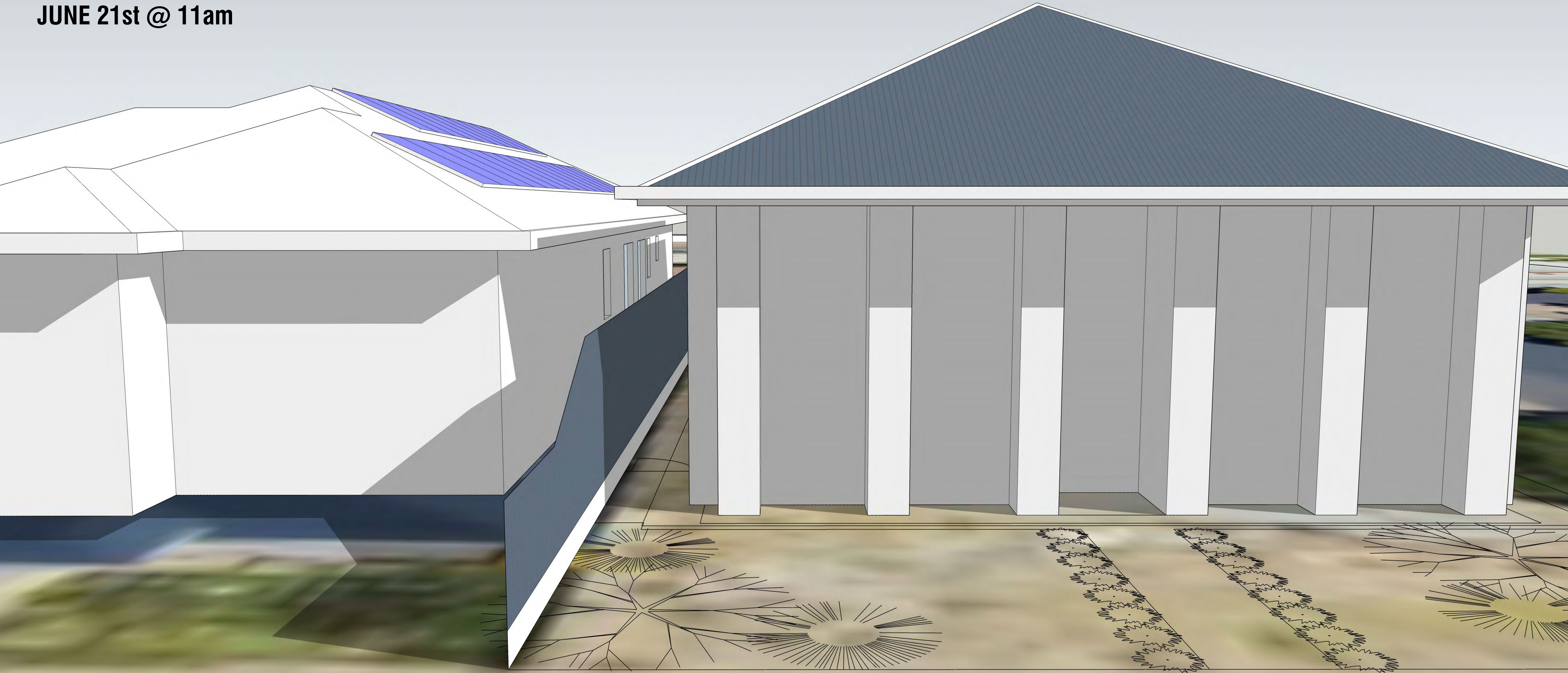
JUNE 21st @ 9am



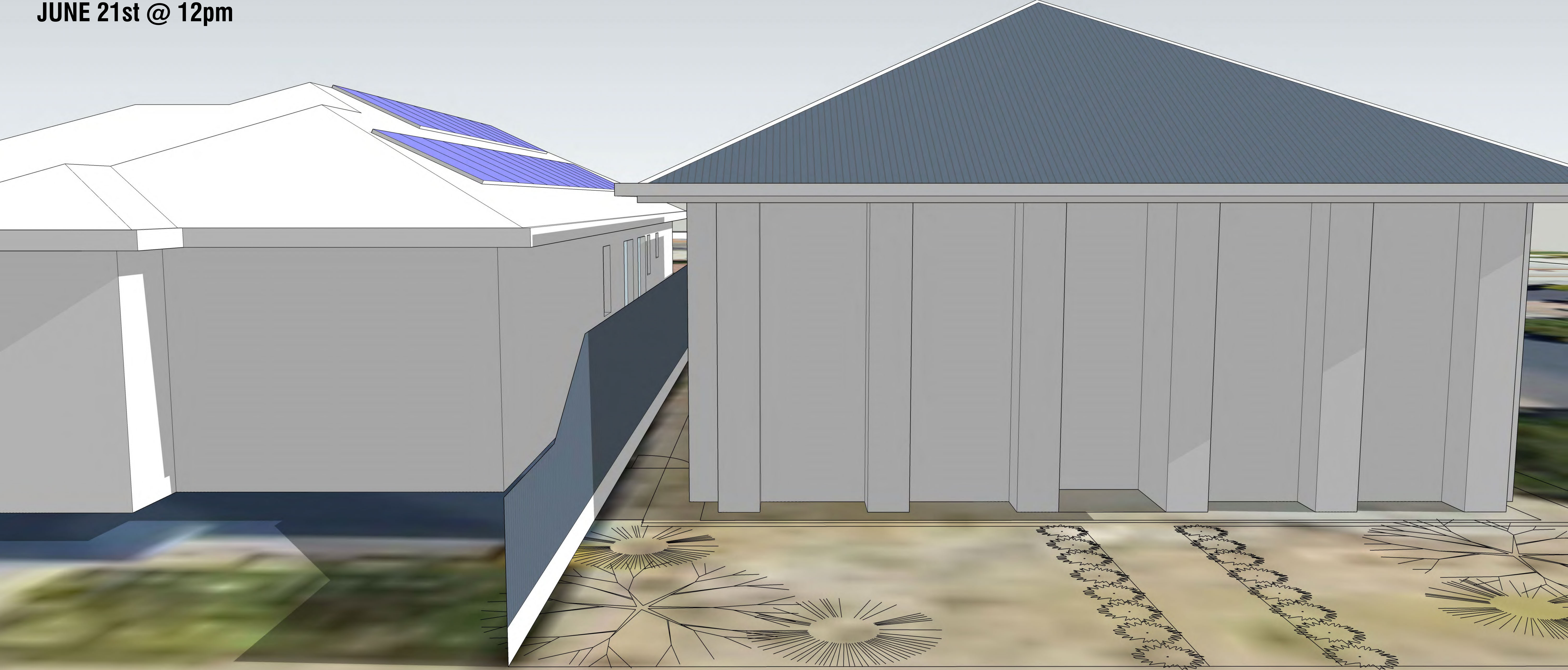
JUNE 21st @ 10am



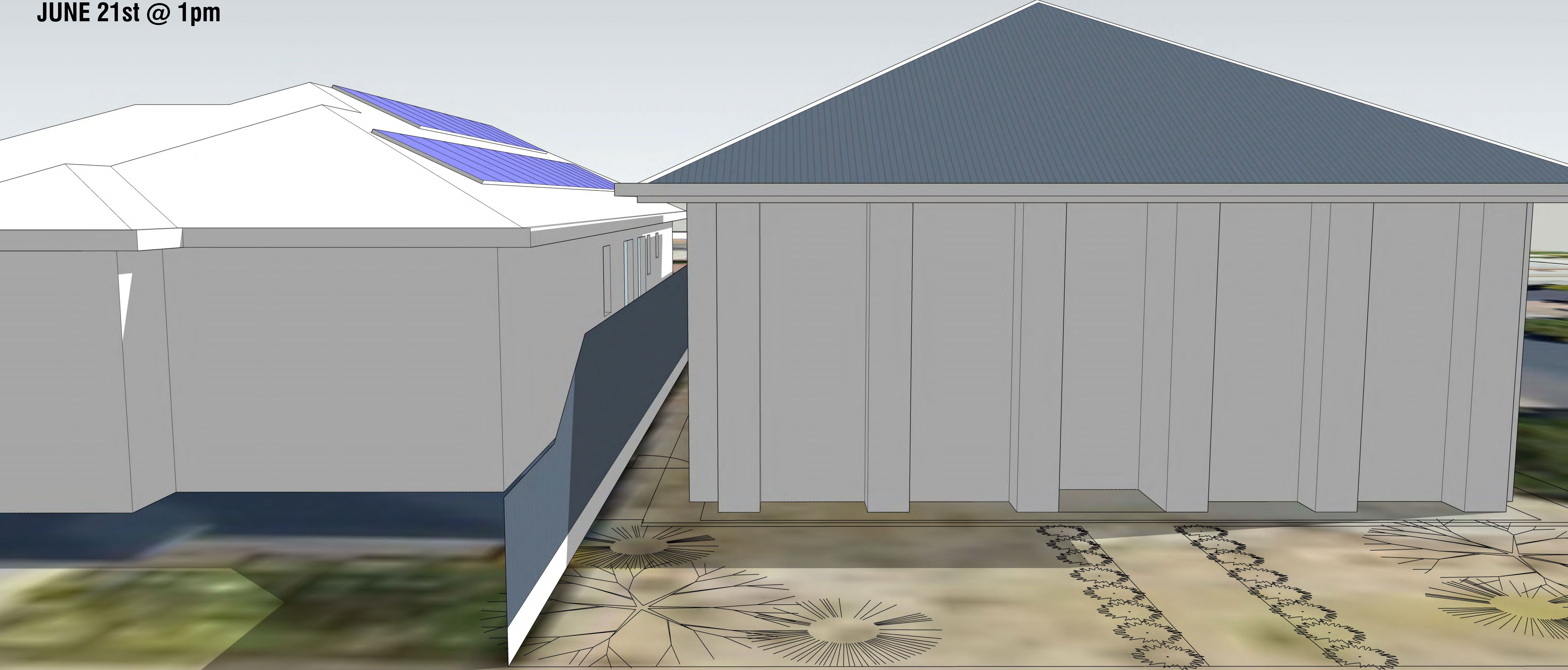
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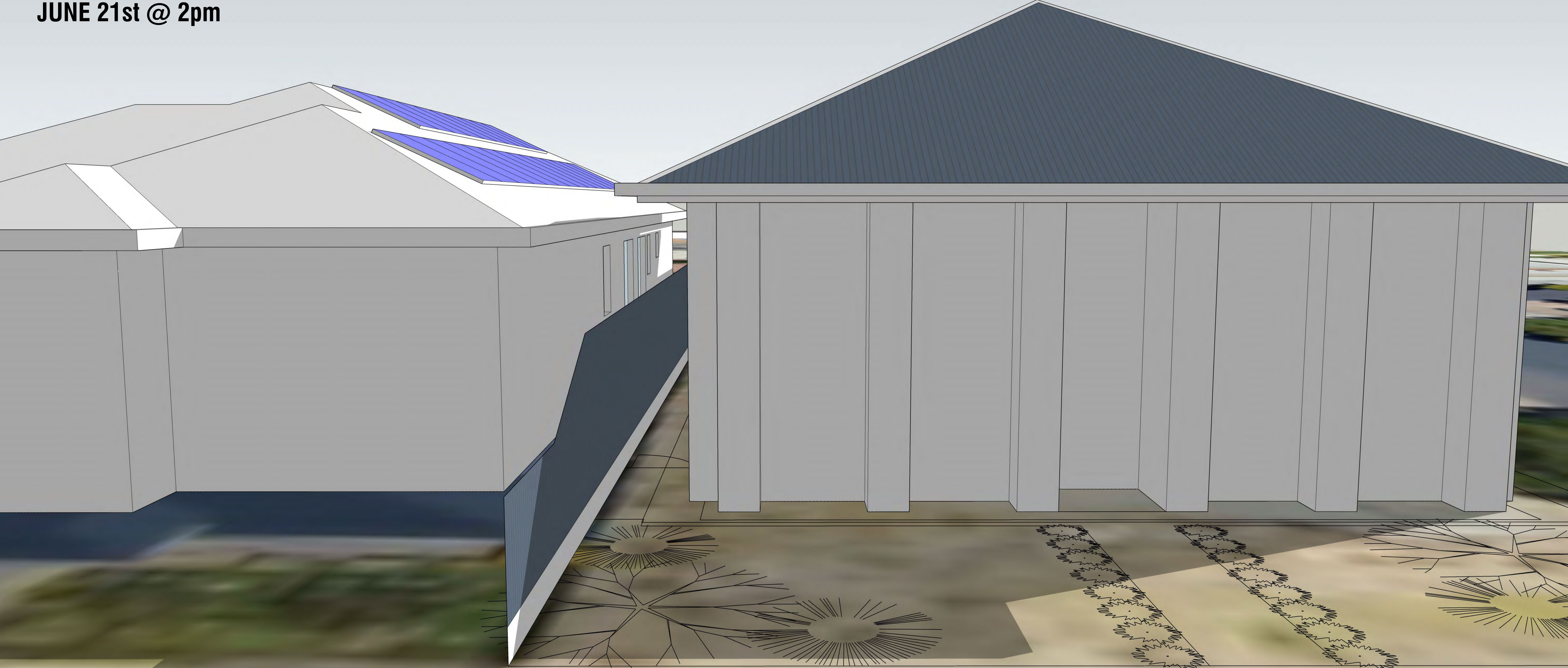
JUNE 21st @ 12pm



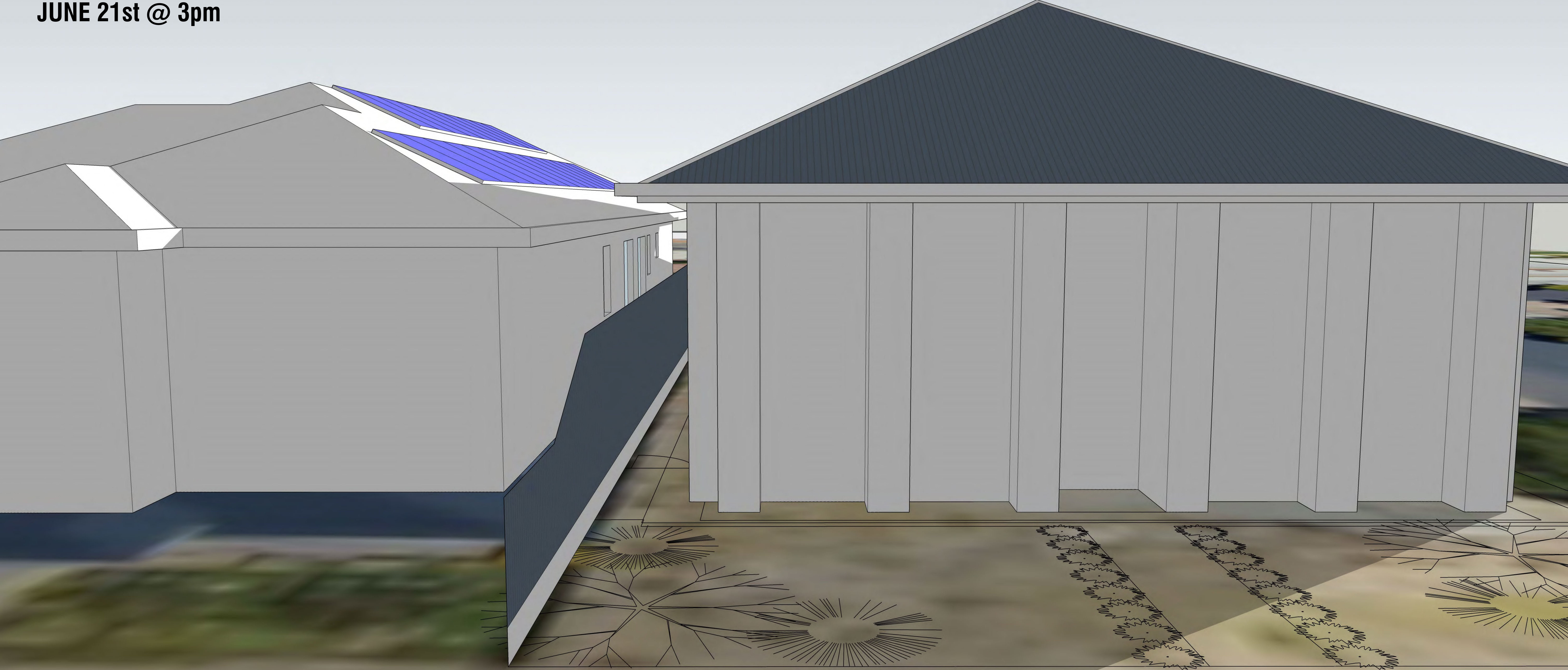
JUNE 21st @ 1pm



JUNE 21st @ 2pm



JUNE 21st @ 3pm



ATTACHMENT 2

Details of Representations

Application Summary

Application ID	22030507
Proposal	Construction of a two Storey Detached Dwelling
Location	2D NORTHBROOK AV FORESTVILLE SA 5035

Representations

Representor 1 - [REDACTED]

Name	[REDACTED]
Address	[REDACTED]
Submission Date	16/10/2022 08:00 PM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	Yes
My position is	I oppose the development
Reasons	
TBA	

Attached Documents

Representations

Representor 2 - [REDACTED]

Name	[REDACTED]
Address	[REDACTED]
Submission Date	01/11/2022 01:06 PM
Submission Source	Email
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	Yes
My position is	I oppose the development
Reasons	

Attached Documents

[REDACTED]

REPRESENTATION ON APPLICATION – PERFORMANCE ASSESSED DEVELOPMENT

Planning, Development and Infrastructure Act 2016

Applicant:	Eastern Building Group Pty Ltd.	
Development Number:	22030507	
Nature of Development:	Construction of a two Storey Detached Dwelling	
Zone/Sub-zone/Overlay:	Established Neighbourhood/Historic Area (Un8) Overlay	
Subject Land:	2D Northbrook Avenue, Forestville, 5035.	
Contact Officer:	None listed on website	
Phone Number:	N/A.	
Close Date:	3 November 2022	
My name*:	[REDACTED]	My phone number:
My postal address*:	[REDACTED]	My email:
	[REDACTED]	

* Indicates mandatory information

- My position is:
- I support the development
- I support the development with some concerns (detail below)
- I oppose the development

The specific reasons I believe that planning consent should be refused are:

[REDACTED]

2D Northbrook Avenue is Zoned as an 'Established Neighbourhood'. Further, it is subject to the Historic Area (Un8) Overlay.¹

Established Neighbourhood Zone:

Pursuant to the provisions of the Established Neighbourhood Zone, there are two desired outcomes with respect to developments at this address:

1. *A neighbourhood that includes a range of housing types, with new buildings **sympathetic to the predominant built form character and development pattern.***
2. ***Maintain the predominant streetscape character, having regard to key features such as roadside plantings, front yards and space between crossovers.***

Forestville is a tightly held area, with 90% of the dwellings on Victoria Street being Victorian style villas or workers cottages. Whilst some 'out of character' developments were approved between the 1960s and 1990s, those structures would not be approved today.

We object to the following parts of the development, for the following reasons:

¹ State Government Planning Port, PlanSA Development and Zoning (current from 19 March 2021).



Building Height:

1. Performance Outcome 4.1 provides that 'Buildings contribute to the prevailing character of the neighbourhood and complements the height of nearby buildings'.

The second story is a 'pagoda' style roof. It does not fit with the character of the streetscape nor the prevailing character of the neighbourhood, nor does it compliment the height of nearby buildings.

The 3 buildings alongside of the proposed development site (2A, 2B and 2C Northbrook Avenue) each have lower building heights.

Whilst the building height of our late 1890s villa is a similar height, it is a single story dwelling and the roof line is a single structure. This is in keeping with most, if not all of the other villas and cottages along Victoria Street.

Alternatively, a more sympathetic approach would be for the second story to be within the main roof line. It is also not clear what the outer walls of the second story would be clad in, which is even more concerning, given the large expanse of brick which runs down the Victoria Street boundary (see below re: Victoria Street boundary issue).

2. Performance Outcome 4.2 provides that 'Additions and alterations do not adversely impact on the streetscape character'.

Victoria Street is the main street which runs through Forestville. As indicated earlier in this document, this street is characterised by established character villas and 'workers' cottages, most of which have been restored to their former glory over time.

Victoria Street runs the length of the whole of the suburb of Forestville. It has been described as the 'jewel of Forestville'. Given that the majority of homes which run along this street (some 90%) are made up of the aforementioned types of character homes, the 'pagoda' style second level will adversely impact upon the streetscape not only of Victoria Street, but the whole of the suburb of Forestville.

Secondary Street Setback:

3. Performance Outcome 6.1 provides that 'Buildings are set back from secondary street boundaries (not being a rear laneway) to maintain the established pattern of separation between building and public streets and reinforce streetscape character'.

The majority of properties along Victoria Street are set back a minimum of 3 metres.

The boundary of this building appears to be only 1 metre.

There is not a single other dwelling along the whole of Victoria Street (including both Forestville or Goodwood and including all corner properties), which has their boundary this close to the street.²

² This does not include two properties which do have their building boundary set on the street, but those are both properties which were built in around early 1900 and were shops which have been developed into homes.

The fact that it runs the entire length of the property, further exacerbates the problem, and interrupts the established pattern of separation between buildings and public streets and, rather than *reinforcing the streetscape character*, it destroys it.

Rear Boundary Walls:

4. Performance Outcome provides that 'Buildings are set back from rear boundaries to provide: (a) separation between dwellings in a way that complements the established character of the locality; (b) access to natural light and ventilation for neighbours; (c) private open space; and space for landscaping and vegetation'.

As the garage boundary wall is not set back at all from Victoria Street, it imposes on our front yard and does not complement the established character of the locality, given that all other properties along Victoria Street are significantly set back from the street (including the corner properties).

Historic Area Overlay

Forestville has been identified, along with Fullarton, as being one of two Historic Areas affecting the City of Unley.

The Historic Area Overlay identifies localities that comprise characteristics on an identifiable history, economic and/or social them of recognised importance. They can comprise land divisions, development patterns, built form characteristics and natural features that provide a legible connection to the historic development of a locality.

These attributes are identified in the table attached to Appendix 1.³

Forestville is not a large suburb. PlanSA describe it as 'Compact'. As such, any new development, proportionally, has the potential to have a greater impact.

We are aware that a number of other neighbours who reside on Victoria Street have also lodged objections.

Our objection to the current design of the development, in addition to the issues identified above, is that this particular building and fence is not ***sympathetic to the predominant built form character and development pattern*** of any other house along Victoria Street, nor does it ***maintain the streetscape***. It appears to be a large expanse of dark grey brick wall, which will sit a metre from the footpath, with a dark colour-bond fence, with a 'pagoda' style second story. This is neither Victorian, Inter-War or Turn of the Century design, which is identified by the Historic Area Overlay and applicable to the whole of Forestville but, we would argue, particularly Victoria Street.

The rear wall, as currently designed, does not sit a minimum of 3 metres away from our brush fence (unless it is fire resistant). This fence surrounds the front and sides of our property. It was built, and has since been maintained, at considerable expense. It is a well maintained fence, and we would not consent to it being removed to allow for the development, as it surrounds the front of our property. We would, however, be prepared to negotiate with the applicants regarding all of these issues.

A compromise might include the following:

1. The secondary street boundary wall be set back further from the street (Victoria Street) so as to be in keeping with the other properties along Victoria Street.
2. That the 'pagoda' style second story be altered so that it fits within the existing roof line which would be more in keeping with the Historic architectural form of the area (as identified by the Historical Overlay).

³ State Government Planning Port, PlanSA Development and Zoning (current from 19 March 2021).

3. That the expanse of brick wall of the dwelling on Victoria Street be altered so that it fits with the rest of the streetscape and identified architectural form, which 'Victorian/Turn-of-Century/Inter-War style' (as identified by the Historical Overlay). This may include a number of alternative considerations including:
 - a. Brickwork colour changed to fit with the other predominant dwellings in the area;
 - b. The frontage altered, so as to break up the large expanse of wall;
 - c. Windows added, so as to break up the large expanse of wall;
 - d. The windows be altered so that are not a metal, but a different colour, so as to soften the look of the building.
4. That the fence on the Victoria Street be altered so that it fits with the rest of the streetscape and is more typical of the historic character of the area. Eg; timber picket, hedge, open iron fencing etc.....

Lastly, we will supplement these written submissions in support of our objection to the development, when the matter is listed for hearing.

Kind regards,

██████████

[attach additional pages as needed]

Note: In order for this submission to be valid, it must:

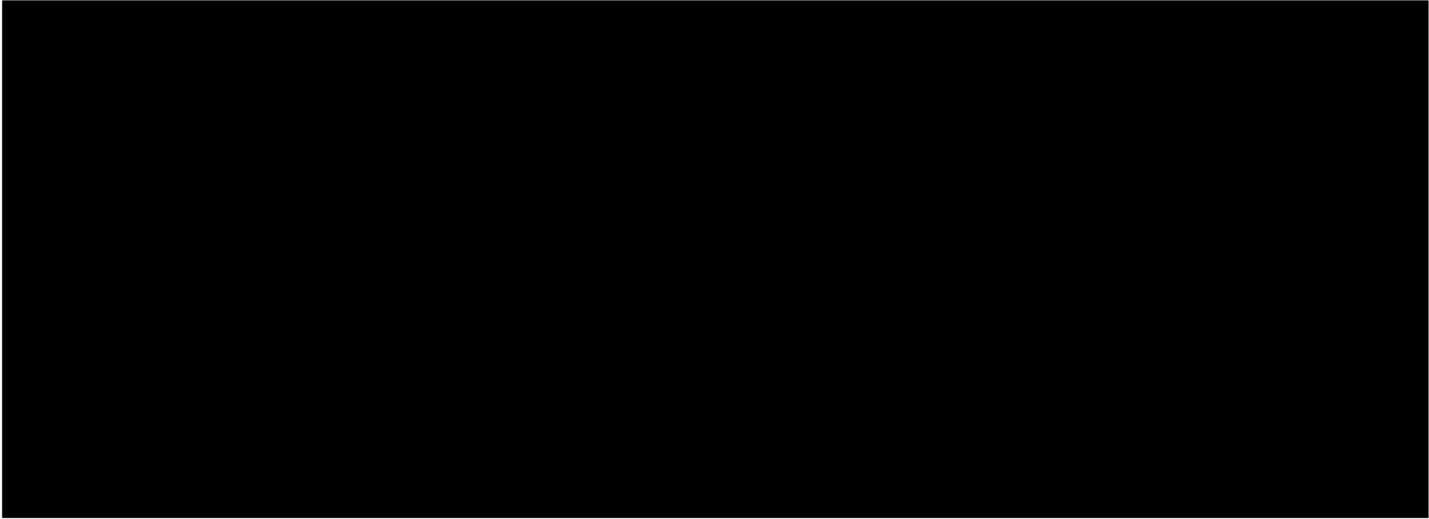
- be in writing; and
- include the name and address of the person (or persons) who are making the representation; and
- set out the particular reasons why planning consent should be granted or refused; and
- comment only on the performance-based elements of the proposal, which does not include the:
 - Click here to enter text. *[list any accepted or deemed-to-satisfy elements of the development]*.

- I: wish to be heard in support of my submission*
- do not wish to be heard in support of my submission

By:

appearing personally

being represented by the following person: [Click here to enter text.](#)



Appendix 1.

Historic Area (Un8) Overlay

Eras, themes and context	1880 to 1940 built development.
Allotments, subdivision and built form patterns	Simple grid layout pattern, with longitudinal axis perpendicular to narrow roads. Regular allotments and site frontages. Prevailing and coherent rhythm of building siting, street setbacks, side boundary setbacks, spacing between buildings and garden landscape setting.
Architectural styles, detailing and built form features	Victorian. Turn-of-Century. Inter-War. Hipped and gable roof forms, roof louvres, chimneys, open verandahs, feature ornamentation, (plasterwork, ironwork and timberwork), latticework and associated front fences. Carports, garages and side additions are separate and recessed from the main building and façade, and are a minor, unobtrusive presence in the streetscape.
Building height	Consistent scale and proportions of buildings including wall heights and roof designs to the streetscape.
Materials	Sandstone. Bluestone. Brick, including glazed brick. Rendered masonry. Timber joinery including window frames, door frames, doors, fascias, barges and verandah posts. Brick quoins, occasionally rendered, around windows and doors. Corrugated Iron roof cladding. Tiled roof cladding on some post 1900s buildings.
Fencing	Typical of the historic character of the area, street and architectural style and materials of the associated building. Where forward of the front façade of the principle building, low in height, typically less than 1.0 metre but up to 1.2 metres. Larger sites and of more than 16 metres street frontage may include vertical elements up to 1.8 metres in total height. Open, see-through and maintaining an open streetscape presence of the associated building, including typical styles comprising: Timber picket, dowel or paling with top rail; Corrugated iron or mini orb or steel strap panels within timber framing and posts; Woven crimped wire, wire mesh on timber or galvanised steel tube framing; Simple masonry plinth (500mm) and widely spaced minimum numbers of piers with decorative see-through iron palisade or steel bar inserts; Stone, brick and/or stucco masonry low in height with wrought iron or steel bar inserts (typically geometric pattern); hedges, with or without fencing.
Setting, landscaping, streetscape and public realm features	Compact streetscape character, narrow verges, and modest street trees.

Representations

Representor 3 - [REDACTED]

Name	[REDACTED]
Address	[REDACTED]
Submission Date	02/11/2022 10:49 AM
Submission Source	Over Counter
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	Yes
My position is	I oppose the development
Reasons see attached	

Attached Documents

[REDACTED]

REPRESENTATION ON APPLICATION – PERFORMANCE ASSESSED DEVELOPMENT

Planning, Development and Infrastructure Act 2016

Applicant:	Eastern Building Group Pty Ltd.
Development Number:	22030507
Nature of Development:	Construction of a two Storey Detached Dwelling
Zone/Sub-zone/Overlay:	Established Neighbourhood/Historic Area (Un8) Overlay
Subject Land:	2D Northbrook Avenue, Forestville, 5035.
Contact Officer:	None listed on website
Phone Number:	N/A.
Close Date:	3 November 2022

- My position is:
- I support the development
 - I support the development with some concerns (detail below)
 - I oppose the development

The specific reasons I believe that planning consent should be refused are:

2D Northbrook Avenue is Zoned as an 'Established Neighbourhood'. Further, it is subject to the Historic Area (Un8) Overlay.¹

Established Neighbourhood Zone:

Pursuant to the provisions of the Established Neighbourhood Zone, there are two desired outcomes with respect to developments at this address:

1. *A neighbourhood that includes a range of housing types, with new buildings sympathetic to the predominant built form character and development pattern.*
2. ***Maintain the predominant streetscape character**, having regard to key features such as roadside plantings, front yards and space between crossovers.*

Forestville is a tightly held area, with about 90% of the dwellings on Victoria Street being Victorian style villas or workers cottages. Whilst some 'out of character' developments were approved between the 1960s and 1990s, those structures would not be approved today. Nor should the applicant rely on those mistakes of the past, to support their current application.

¹ State Government Planning Port, PlanSA Development and Zoning (current from 19 March 2021).

2e
- 1 NOV 2022



We object to the following parts of the development, for the following reasons:

Building Height:

1. Performance Outcome 4.1 provides that 'Buildings contribute to the prevailing character of the neighbourhood and complements the height of nearby buildings'.

The second story is a 'pagoda' style roof. It does not fit with the character of the streetscape nor the prevailing character of the neighbourhood, nor does it compliment the height of nearby buildings.

The 3 buildings alongside of the proposed development site (2A, 2B and 2C Northbrook Avenue) each have lower building heights.

Whilst the building heights of other dwellings along Victoria Street are of a similar height (particularly Victorian villas), they are all single story dwellings and the roof line is a single structure.

Alternatively, a more sympathetic approach would be for the second story to be within the main roof line. It is also not clear what the outer walls of the second story would be clad in, which is even more concerning, given the large expanse of brick which runs down the Victoria Street boundary (see below re: Victoria Street boundary issue). This would be in keeping with most, if not all of the other villas and cottages along Victoria Street.

2. Performance Outcome 4.2 provides that 'Additions and alterations do not adversely impact on the streetscape character'.

Victoria Street is the main street which runs through Forestville. As indicated earlier in this document, this street is characterised by established character villas and 'workers' cottages, most of which have been restored to their former glory over time.

Victoria Street runs the length of the whole of the suburb of Forestville. It has been described as the 'jewel of Forestville'. Given that the majority of homes which run along this street (some 90%) are made up of the aforementioned types of character homes, the 'pagoda' style second level will adversely impact upon the streetscape not only of Victoria Street, but the whole of the suburb of Forestville.

Secondary Street Setback:

3. Performance Outcome 6.1 provides that 'Buildings are set back from secondary street boundaries (not being a rear laneway) to maintain the established pattern of separation between building and public streets and reinforce streetscape character'.

The majority of properties along Victoria Street are set back a minimum of 3 metres.

The boundary of this building appears to be ~~only 1 metre~~: *predominantly less than 1m.*

There is not a single other dwelling along the whole of Victoria Street (including both Forestville or Goodwood and including all corner properties), which has their boundary this close to the street.²

The fact that it runs the entire length of the property, further exacerbates the problem, and interrupts the established pattern of separation between buildings and public streets and, rather than *reinforcing the streetscape character*, it destroys it.

Historic Area Overlay

Forestville has been identified, along with Fullarton, as being one of two Historic Areas affecting the City of Unley.

The Historic Area Overlay identifies localities that comprise characteristics on an identifiable history, economic and/or social them of recognised importance. They can comprise land divisions, development patterns, built form characteristics and natural features that provide a legible connection to the historic development of a locality.

These attributes are identified in the table attached to Appendix 1.³

Forestville is not a large suburb. PlanSA describe it as 'Compact'. As such, any new development, proportionally, has the potential to have a greater impact.

A compromise could include the following:

1. The secondary street boundary wall be set back further from the street (Victoria Street) so as to be in keeping with the other properties along Victoria Street.
2. That the 'pagoda' style second story be altered so that it fits within the existing roof line which would be more in keeping with the Historic architectural form of the area (as identified by the Historical Overlay).
3. That the expanse of brick wall of the dwelling on Victoria Street be altered so that it fits with the rest of the streetscape and identified architectural form, which 'Victorian/Turn-of-Century/Inter-War style' (as identified by the Historical Overlay).
4. That the fence on the Victoria Street be altered so that it fits with the rest of the streetscape and is more typical of the historic character of the area. Eg.; timber picket, hedge or fences that are otherwise more open.

~~5. That the elevation that faces Victoria Street have a ^{greater} consideration given to the fenestration layout so that it can be a positive design feature to the streetscape. This also applies to materials a combination of materials to be used in the wall.~~

5. That more detailed consideration be given to both the fenestration and the potential combination of different building materials that could be utilised on the Victoria Street elevation, so as to ensure that this dwelling is a complementary and positive design feature of the streetscape.

² This does not include two properties which do have their building boundary set on the street, but those are both properties which were built in around early 1900 and were shops which have been developed into homes.

³ State Government Planning Port, PlanSA Development and Zoning (current from 19 March 2021).

[attach additional pages as needed]

Note: In order for this submission to be valid, it must:

- be in writing; and
- include the name and address of the person (or persons) who are making the representation; and
- set out the particular reasons why planning consent should be granted or refused; and
- comment only on the performance-based elements of the proposal, which does not include the:
 - [Click here to enter text.](#) *[list any accepted or deemed-to-satisfy elements of the development].*

- I: wish to be heard in support of my submission*
- do not wish to be heard in support of my submission

**You may be contacted if you indicate that you wish to be heard by the relevant authority in support of your submission*

Appendix 1.

Historic Area (Un8) Overlay

Eras, themes and context	1880 to 1940 built development.
Allotments, subdivision and built form patterns	Simple grid layout pattern, with longitudinal axis perpendicular to narrow roads. Regular allotments and site frontages. Prevailing and coherent rhythm of building siting, street setbacks, side boundary setbacks, spacing between buildings and garden landscape setting.
Architectural styles, detailing and built form features	Victorian. Turn-of-Century. Inter-War. Hipped and gable roof forms, roof louvres, chimneys, open verandahs, feature ornamentation, (plasterwork, ironwork and timberwork), latticework and associated front fences. Carports, garages and side additions are separate and recessed from the main building and façade, and are a minor, unobtrusive presence in the streetscape.
Building height	Consistent scale and proportions of buildings including wall heights and roof designs to the streetscape.
Materials	Sandstone. Bluestone. Brick, including glazed brick. Rendered masonry. Timber joinery including window frames, door frames, doors, fascias, barges and verandah posts. Brick quoins, occasionally rendered, around windows and doors. Corrugated iron roof cladding. Tiled roof cladding on some post 1900s buildings.
Fencing	Typical of the historic character of the area, street and architectural style and materials of the associated building. Where forward of the front façade of the principle building, low in height, typically less than 1.0 metre but up to 1.2 metres. Larger sites and of more than 16 metres street frontage may include vertical elements up to 1.8 metres in total height. Open, see-through and maintaining an open streetscape presence of the associated building, including typical styles comprising: Timber picket, dowel or paling with top rail; Corrugated iron or mini orb or steel strap panels within timber framing and posts; Woven crimped wire, wire mesh on timber or galvanised steel tube framing; Simple masonry plinth (500mm) and widely spaced minimum numbers of piers with decorative see-through iron palisade or steel bar inserts; Stone, brick and/or stucco masonry low in height with wrought iron or steel bar inserts (typically geometric pattern); hedges, with or without fencing.
Setting, landscaping, streetscape and public realm features	Compact streetscape character, narrow verges, and modest street trees.

Representations

Representor 4 - [REDACTED]

Name	[REDACTED]
Address	[REDACTED]
Submission Date	02/11/2022 10:53 AM
Submission Source	Over Counter
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	Yes
My position is	I oppose the development
Reasons see attached	

Attached Documents

ScivicGrou22110210221-4194030.pdf

REPRESENTATION ON APPLICATION – PERFORMANCE ASSESSED DEVELOPMENT

Planning, Development and Infrastructure Act 2016

Applicant:	Eastern Building Group Pty Ltd.
Development Number:	22030507
Nature of Development:	Construction of a two Storey Detached Dwelling
Zone/Sub-zone/Overlay:	Established Neighbourhood/Historic Area (Un8) Overlay
Subject Land:	2D Northbrook Avenue, Forestville, 5035.
Contact Officer:	None listed on website
Phone Number:	N/A.
Close Date:	3 November 2022

- My position is:
- I support the development
 - I support the development with some concerns (detail below)
 - I oppose the development

The specific reasons I believe that planning consent should be refused are:

2D Northbrook Avenue is Zoned as an 'Established Neighbourhood'. Further, it is subject to the Historic Area (Un8) Overlay.¹

Established Neighbourhood Zone:

Pursuant to the provisions of the Established Neighbourhood Zone, there are two desired outcomes with respect to developments at this address:

1. *A neighbourhood that includes a range of housing types, with new buildings **sympathetic to the predominant built form character and development pattern.***
2. ***Maintain the predominant streetscape character, having regard to key features such as roadside plantings, front yards and space between crossovers.***

Forestville is a tightly held area, with about 90% of the dwellings on Victoria Street being Victorian style villas or workers cottages. Whilst some 'out of character' developments were approved between the 1960s and 1990s, those structures would not be approved today. Nor should the applicant rely on those mistakes of the past, to support their current application.

¹ State Government Planning Port, PlanSA Development and Zoning (current from 19 March 2021).

19 - 1 NOV 2022



We object to the following parts of the development, for the following reasons:

Building Height:

1. Performance Outcome 4.1 provides that 'Buildings contribute to the prevailing character of the neighbourhood and complements the height of nearby buildings'.

The second story is a 'pagoda' style roof. It does not fit with the character of the streetscape nor the prevailing character of the neighbourhood, nor does it compliment the height of nearby buildings.

The 3 buildings alongside of the proposed development site (2A, 2B and 2C Northbrook Avenue) each have lower building heights.

Whilst the building heights of other dwellings along Victoria Street are of a similar height (particularly Victorian villas), they are all single story dwellings and the roof line is a single structure.

Alternatively, a more sympathetic approach would be for the second story to be within the main roof line. It is also not clear what the outer walls of the second story would be clad in, which is even more concerning, given the large expanse of brick which runs down the Victoria Street boundary (see below re: Victoria Street boundary issue). This would be in keeping with most, if not all of the other villas and cottages along Victoria Street.

2. Performance Outcome 4.2 provides that 'Additions and alterations do not adversely impact on the streetscape character'.

Victoria Street is the main street which runs through Forestville. As indicated earlier in this document, this street is characterised by established character villas and 'workers' cottages, most of which have been restored to their former glory over time.

Victoria Street runs the length of the whole of the suburb of Forestville. It has been described as the 'jewel of Forestville'. Given that the majority of homes which run along this street (some 90%) are made up of the aforementioned types of character homes, the 'pagoda' style second level will adversely impact upon the streetscape not only of Victoria Street, but the whole of the suburb of Forestville.

Secondary Street Setback:

3. Performance Outcome 6.1 provides that 'Buildings are set back from secondary street boundaries (not being a rear laneway) to maintain the established pattern of separation between building and public streets and reinforce streetscape character'.

The majority of properties along Victoria Street are set back a minimum of 3 metres.

The boundary of this building appears to be only 1 metre.

There is not a single other dwelling along the whole of Victoria Street (including both Forestville or Goodwood and including all corner properties), which has their boundary this close to the street.²

The fact that it runs the entire length of the property, further exacerbates the problem, and interrupts the established pattern of separation between buildings and public streets and, rather than reinforcing the streetscape character, it destroys it.

Historic Area Overlay

Forestville has been identified, along with Fullarton, as being one of two Historic Areas affecting the City of Unley.

The Historic Area Overlay identifies localities that comprise characteristics on an identifiable history, economic and/or social them of recognised importance. They can comprise land divisions, development patterns, built form characteristics and natural features that provide a legible connection to the historic development of a locality.

These attributes are identified in the table attached to Appendix 1.³

Forestville is not a large suburb. PlanSA describe it as 'Compact'. As such, any new development, proportionally, has the potential to have a greater impact.

A compromise could include the following:

1. The secondary street boundary wall be set back further from the street (Victoria Street) so as to be in keeping with the other properties along Victoria Street.
2. That the 'pagoda' style second story be altered so that it fits within the existing roof line which would be more in keeping with the Historic architectural form of the area (as identified by the Historical Overlay).
3. That the expanse of brick wall of the dwelling on Victoria Street be altered so that it fits with the rest of the streetscape and identified architectural form, which 'Victorian/Turn-of-Century/Inter-War style' (as identified by the Historical Overlay).
4. That the fence on the Victoria Street be altered so that it fits with the rest of the streetscape and is more typical of the historic character of the area. Eg:, timber picket, hedge or fences that are otherwise more open.

² This does not include two properties which do have their building boundary set on the street, but those are both properties which were built in around early 1900 and were shops which have been developed into homes.

³ State Government Planning Port, PlanSA Development and Zoning (current from 19 March 2021).

[attach additional pages as needed]

Note: In order for this submission to be valid, it must:

- be in writing; and
- include the name and address of the person (or persons) who are making the representation; and
- set out the particular reasons why planning consent should be granted or refused; and
- comment only on the performance-based elements of the proposal, which does not include the:
 - [Click here to enter text.](#) [list any accepted or deemed-to-satisfy elements of the development].

I:

wish to be heard in support of my submission*

do not wish to be heard in support of my submission

Appendix 1.

Historic Area (Un8) Overlay

Eras, themes and context	1880 to 1940 built development.
Allotments, subdivision and built form patterns	Simple grid layout pattern, with longitudinal axis perpendicular to narrow roads. Regular allotments and site frontages. Prevailing and coherent rhythm of building siting, street setbacks, side boundary setbacks, spacing between buildings and garden landscape setting.
Architectural styles, detailing and built form features	Victorian. Turn-of-Century. Inter-War. Hipped and gable roof forms, roof louvres, chimneys, open verandahs, feature ornamentation, (plasterwork, ironwork and timberwork), latticework and associated front fences. Carports, garages and side additions are separate and recessed from the main building and façade, and are a minor, unobtrusive presence in the streetscape.
Building height	Consistent scale and proportions of buildings including wall heights and roof designs to the streetscape.
Materials	Sandstone. Bluestone. Brick, including glazed brick. Rendered masonry.
Fencing	Timber joinery including window frames, door frames, doors, fascias, barges and verandah posts. Brick quoins, occasionally rendered, around windows and doors. Corrugated Iron roof cladding. Tiled roof cladding on some post 1900s buildings. Typical of the historic character of the area, street and architectural style and materials of the associated building. Where forward of the front façade of the principle building, low in height, typically less than 1.0 metre but up to 1.2 metres. Larger sites and of more than 16 metres street frontage may include vertical elements up to 1.8 metres in total height. Open, see-through and maintaining an open streetscape presence of the associated building, including typical styles comprising: Timber picket, dowel or paling with top rail; Corrugated iron or mini orb or steel strap panels within timber framing and posts; Woven crimped wire, wire mesh on timber or galvanised steel tube framing; Simple masonry plinth (500mm) and widely spaced minimum numbers of piers with decorative see-through iron palisade or steel bar inserts; Stone, brick and/or stucco masonry low in height with wrought iron or steel bar inserts (typically geometric pattern); hedges, with or without fencing.
Setting, landscaping, streetscape and public realm features	Compact streetscape character, narrow verges, and modest street trees.

Representations

Representor 5 - [REDACTED]

Name	[REDACTED]
Address	[REDACTED]
Submission Date	02/11/2022 10:55 AM
Submission Source	Over Counter
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	Yes
My position is	I oppose the development
Reasons see attached	

Attached Documents

ScivicGrou22110210222-4194101.pdf

REPRESENTATION ON APPLICATION – PERFORMANCE ASSESSED DEVELOPMENT

Planning, Development and Infrastructure Act 2016

Applicant:	Eastern Building Group Pty Ltd.
Development Number:	22030507
Nature of Development:	Construction of a two Storey Detached Dwelling
Zone/Sub-zone/Overlay:	Established Neighbourhood/Historic Area (Un8) Overlay
Subject Land:	2D Northbrook Avenue, Forestville, 5035.
Contact Officer:	None listed on website
Phone Number:	N/A.
Close Date:	3 November 2022

- My position is:
- I support the development
 - I support the development with some concerns (detail below)
 - I oppose the development

The specific reasons I believe that planning consent should be refused are:

2D Northbrook Avenue is Zoned as an 'Established Neighbourhood'. Further, it is subject to the Historic Area (Un8) Overlay.¹

Established Neighbourhood Zone:

Pursuant to the provisions of the Established Neighbourhood Zone, there are two desired outcomes with respect to developments at this address:

1. *A neighbourhood that includes a range of housing types, with new buildings **sympathetic to the predominant built form character and development pattern.***
2. ***Maintain the predominant streetscape character**, having regard to key features such as roadside plantings, front yards and space between crossovers.*

Forestville is a tightly held area, with about 90% of the dwellings on Victoria Street being Victorian style villas or workers cottages. Whilst some 'out of character' developments were approved between the 1960s and 1990s, those structures would not be approved today. Nor should the applicant rely on those mistakes of the past, to support their current application.

¹ State Government Planning Port, PlanSA Development and Zoning (current from 19 March 2021).

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We object to the following parts of the development, for the following reasons:

Building Height:

1. Performance Outcome 4.1 provides that 'Buildings contribute to the prevailing character of the neighbourhood and complements the height of nearby buildings'.

The second story is a 'pagoda' style roof. It does not fit with the character of the streetscape nor the prevailing character of the neighbourhood, nor does it compliment the height of nearby buildings.

The 3 buildings alongside of the proposed development site (2A, 2B and 2C Northbrook Avenue) each have lower building heights.

Whilst the building heights of other dwellings along Victoria Street are of a similar height (particularly Victorian villas), they are all single story dwellings and the roof line is a single structure.

Alternatively, a more sympathetic approach would be for the second story to be within the main roof line. It is also not clear what the outer walls of the second story would be clad in, which is even more concerning, given the large expanse of brick which runs down the Victoria Street boundary (see below re: Victoria Street boundary issue). This would be in keeping with most, if not all of the other villas and cottages along Victoria Street.

2. Performance Outcome 4.2 provides that 'Additions and alterations do not adversely impact on the streetscape character'.

Victoria Street is the main street which runs through Forestville. As indicated earlier in this document, this street is characterised by established character villas and 'workers' cottages, most of which have been restored to their former glory over time.

Victoria Street runs the length of the whole of the suburb of Forestville. It has been described as the 'jewel of Forestville'. Given that the majority of homes which run along this street (some 90%) are made up of the aforementioned types of character homes, the 'pagoda' style second level will adversely impact upon the streetscape not only of Victoria Street, but the whole of the suburb of Forestville.

Secondary Street Setback:

3. Performance Outcome 6.1 provides that 'Buildings are set back from secondary street boundaries (not being a rear laneway) to maintain the established pattern of separation between building and public streets and reinforce streetscape character'.

The majority of properties along Victoria Street are set back a minimum of 3 metres.

The boundary of this building appears to be only 1 metre.

There is not a single other dwelling along the whole of Victoria Street (including both Forestville or Goodwood and including all corner properties), which has their boundary this close to the street.²

The fact that it runs the entire length of the property, further exacerbates the problem, and interrupts the established pattern of separation between buildings and public streets and, rather than *reinforcing the streetscape character*, it destroys it.

Historic Area Overlay

Forestville has been identified, along with Fullarton, as being one of two Historic Areas affecting the City of Unley.

The Historic Area Overlay identifies localities that comprise characteristics on an identifiable history, economic and/or social them of recognised importance. They can comprise land divisions, development patterns, built form characteristics and natural features that provide a legible connection to the historic development of a locality.

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3. That the expanse of brick wall of the dwelling on Victoria Street be altered so that it fits with the rest of the streetscape and identified architectural form, which 'Victorian/Turn-of-Century/Inter-War style' (as identified by the Historical Overlay).
4. That the fence on the Victoria Street be altered so that it fits with the rest of the streetscape and is more typical of the historic character of the area. Eg.; timber picket, hedge or fences that are otherwise more open.

² This does not include two properties which do have their building boundary set on the street, but those are both properties which were built in around early 1900 and were shops which have been developed into homes.

³ State Government Planning Port, PlanSA Development and Zoning (current from 19 March 2021).

[attach additional pages as needed]

Note: In order for this submission to be valid, it must:

- be in writing; and
- include the name and address of the person (or persons) who are making the representation; and
- set out the particular reasons why planning consent should be granted or refused; and
- comment only on the performance-based elements of the proposal, which does not include the:
 - Click here to enter text. [list any accepted or deemed-to-satisfy elements of the development].

- I: wish to be heard in support of my submission*
 do not wish to be heard in support of my submission

**You may be contacted if you indicate that you wish to be heard by the relevant authority in support of your submission*

Return Address:

Email:

Complete online submission: planninganddesigncode.plan.sa.gov.au/haveyoursay/

Appendix 1.

Historic Area (Un8) Overlay

Eras, themes and context	1880 to 1940 built development.
Allotments, subdivision and built form patterns	Simple grid layout pattern, with longitudinal axis perpendicular to narrow roads. Regular allotments and site frontages. Prevailing and coherent rhythm of building siting, street setbacks, side boundary setbacks, spacing between buildings and garden landscape setting.
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Materials	Sandstone. Bluestone. Brick, including glazed brick. Rendered masonry.
Fencing	Timber joinery including window frames, door frames, doors, fascias, barges and verandah posts. Brick quoins, occasionally rendered, around windows and doors. Corrugated iron roof cladding. Tiled roof cladding on some post 1900s buildings. Typical of the historic character of the area, street and architectural style and materials of the associated building. Where forward of the front façade of the principle building, low in height, typically less than 1.0 metre but up to 1.2 metres. Larger sites and of more than 16 metres street frontage may include vertical elements up to 1.8 metres in total height. Open, see-through and maintaining an open streetscape presence of the associated building, including typical styles comprising: Timber picket, dowel or paling with top rail; Corrugated iron or mini orb or steel strap panels within timber framing and posts; Woven crimped wire, wire mesh on timber or galvanised steel tube framing; Simple masonry plinth (500mm) and widely spaced minimum numbers of piers with decorative see-through iron palisade or steel bar inserts; Stone, brick and/or stucco masonry low in height with wrought iron or steel bar inserts (typically geometric pattern); hedges, with or without fencing.
Setting, landscaping, streetscape and public realm features	Compact streetscape character, narrow verges, and modest street trees.

Representations

Representor 6 - [REDACTED]

Name	[REDACTED]
Address	[REDACTED]
Submission Date	02/11/2022 10:57 AM
Submission Source	Over Counter
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	Yes
My position is	I oppose the development
Reasons see attached	

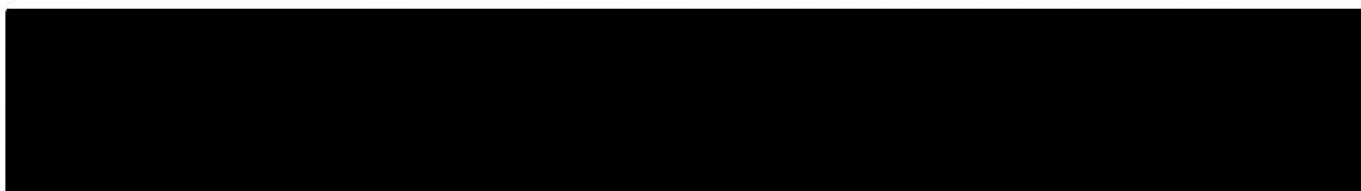
Attached Documents

ScivicGrou22110210230-4194133.pdf

REPRESENTATION ON APPLICATION – PERFORMANCE ASSESSED DEVELOPMENT

Planning, Development and Infrastructure Act 2016

Applicant:	Eastern Building Group Pty Ltd.
Development Number:	22030507
Nature of Development:	Construction of a two Storey Detached Dwelling
Zone/Sub-zone/Overlay:	Established Neighbourhood/Historic Area (Un8) Overlay
Subject Land:	2D Northbrook Avenue, Forestville, 5035.
Contact Officer:	None listed on website
Phone Number:	N/A.
Close Date:	3 November 2022



- My position is:
- I support the development
 - I support the development with some concerns (detail below)
 - I oppose the development

The specific reasons I believe that planning consent should be refused are:

2D Northbrook Avenue is Zoned as an 'Established Neighbourhood'. Further, it is subject to the Historic Area (Un8) Overlay.¹

Established Neighbourhood Zone:

Pursuant to the provisions of the Established Neighbourhood Zone, there are two desired outcomes with respect to developments at this address:

1. ***A neighbourhood that includes a range of housing types, with new buildings sympathetic to the predominant built form character and development pattern.***
2. ***Maintain the predominant streetscape character, having regard to key features such as roadside plantings, front yards and space between crossovers.***

Forestville is a tightly held area, with about 90% of the dwellings on Victoria Street being Victorian style villas or workers cottages. Whilst some 'out of character' developments were approved between the 1960s and 1990s, those structures would not be approved today. Nor should the applicant rely on those mistakes of the past, to support their current application.

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Government of South Australia
Department for Trade
and Investment

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We object to the following parts of the development, for the following reasons:

Building Height:

1. Performance Outcome 4.1 provides that 'Buildings contribute to the prevailing character of the neighbourhood and complements the height of nearby buildings'.

The second story is a 'pagoda' style roof. It does not fit with the character of the streetscape nor the prevailing character of the neighbourhood, nor does it compliment the height of nearby buildings.

The 3 buildings alongside of the proposed development site (2A, 2B and 2C Northbrook Avenue) each have lower building heights.

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2. Performance Outcome 4.2 provides that 'Additions and alterations do not adversely impact on the streetscape character'.

Victoria Street is the main street which runs through Forestville. As indicated earlier in this document, this street is characterised by established character villas and 'workers' cottages, most of which have been restored to their former glory over time.

Victoria Street runs the length of the whole of the suburb of Forestville. It has been described as the 'jewel of Forestville'. Given that the majority of homes which run along this street (some 90%) are made up of the aforementioned types of character homes, the 'pagoda' style second level will adversely impact upon the streetscape not only of Victoria Street, but the whole of the suburb of Forestville.

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³ State Government Planning Port, PlanSA Development and Zoning (current from 19 March 2021).

[attach additional pages as needed]

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- set out the particular reasons why planning consent should be granted or refused; and
- comment only on the performance-based elements of the proposal, which does not include the:
 - Click here to enter text. [list any accepted or deemed-to-satisfy elements of the development].

- I: wish to be heard in support of my submission*
- do not wish to be heard in support of my submission

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Setting, landscaping, streetscape and public realm features	Compact streetscape character, narrow verges, and modest street trees.

Representations

Representor 7 - [REDACTED]

Name	[REDACTED]
Address	[REDACTED]
Submission Date	02/11/2022 10:59 AM
Submission Source	Over Counter
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	Yes
My position is	I oppose the development
Reasons see attached	

Attached Documents

ScivicGrou22110210231-4194192.pdf

REPRESENTATION ON APPLICATION – PERFORMANCE ASSESSED DEVELOPMENT

Planning, Development and Infrastructure Act 2016

Applicant:	Eastern Building Group Pty Ltd.
Development Number:	22030507
Nature of Development:	Construction of a two Storey Detached Dwelling
Zone/Sub-zone/Overlay:	Established Neighbourhood/Historic Area (Un8) Overlay
Subject Land:	2D Northbrook Avenue, Forestville, 5035.
Contact Officer:	None listed on website
Phone Number:	N/A.
Close Date:	3 November 2022

- My position is:
- I support the development
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The specific reasons I believe that planning consent should be refused are:

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Government of South Australia

Department for Trade
and Investment

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We object to the following parts of the development, for the following reasons:

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[attach additional pages as needed]

Note: In order for this submission to be valid, it must:

- be in writing; and
- include the name and address of the person (or persons) who are making the representation; and
- set out the particular reasons why planning consent should be granted or refused; and
- comment only on the performance-based elements of the proposal, which does not include the:
 - Click here to enter text. [list any accepted or deemed-to-satisfy elements of the development].

- I: wish to be heard in support of my submission*
- do not wish to be heard in support of my submission

Return Address:

Email:

Complete online submission: planninganddesigncode.plan.sa.gov.au/haveyoursay/

Appendix 1.

Historic Area (Un8) Overlay

<p>Eras, themes and context</p>	<p>1880 to 1940 built development.</p>
<p>Allotments, subdivision and built form patterns</p>	<p>Simple grid layout pattern, with longitudinal axis perpendicular to narrow roads. Regular allotments and site frontages. Prevailing and coherent rhythm of building siting, street setbacks, side boundary setbacks, spacing between buildings and garden landscape setting.</p>
<p>Architectural styles, detailing and built form features</p>	<p>Victorian. Turn-of-Century. Inter-War. Hipped and gable roof forms, roof louvres, chimneys, open verandahs, feature ornamentation, (plasterwork, ironwork and timberwork), latticework and associated front fences. Carports, garages and side additions are separate and recessed from the main building and façade, and are a minor, unobtrusive presence in the streetscape.</p>
<p>Building height</p>	<p>Consistent scale and proportions of buildings including wall heights and roof designs to the streetscape.</p>
<p>Materials</p>	<p>Sandstone. Bluestone. Brick, including glazed brick. Rendered masonry.</p>
<p>Fencing</p>	<p>Timber joinery including window frames, door frames, doors, fascias, barges and verandah posts. Brick quoins, occasionally rendered, around windows and doors. Corrugated iron roof cladding. Tiled roof cladding on some post 1900s buildings.</p> <p>Typical of the historic character of the area, street and architectural style and materials of the associated building. Where forward of the front façade of the principle building, low in height, typically less than 1.0 metre but up to 1.2 metres. Larger sites and of more than 16 metres street frontage may include vertical elements up to 1.8 metres in total height. Open, see-through and maintaining an open streetscape presence of the associated building, including typical styles comprising: Timber picket, dowel or paling with top rail; Corrugated iron or mini orb or steel strap panels within timber framing and posts; Woven crimped wire, wire mesh on timber or galvanised steel tube framing; Simple masonry plinth (500mm) and widely spaced minimum numbers of piers with decorative see-through iron palisade or steel bar inserts; Stone, brick and/or stucco masonry low in height with wrought iron or steel bar inserts (typically geometric pattern); hedges, with or without fencing.</p>
<p>Setting, landscaping, streetscape and public realm features</p>	<p>Compact streetscape character, narrow verges, and modest street trees.</p>

Representations

Representor 8 - [REDACTED]

Name	[REDACTED]
Address	[REDACTED]
Submission Date	03/11/2022 05:35 PM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	Yes
My position is	I oppose the development
Reasons	
I believe that planning consent should be refused for the reasons set out in the attached document.	

Attached Documents

[REDACTED]

REPRESENTATION ON APPLICATION – PERFORMANCE ASSESSED DEVELOPMENT

Planning, Development and Infrastructure Act 2016

Applicant:	Eastern Building Group Pty Ltd.
Development Number:	22030507
Nature of Development:	Construction of a two Storey Detached Dwelling
Zone/Sub-zone/Overlay:	Established Neighbourhood/Historic Area (Un8) Overlay
Subject Land:	2D Northbrook Avenue, Forestville, 5035.
Contact Officer:	None listed on website
Phone Number:	N/A.
Close Date:	3 November 2022

- My position is:
- I support the development
 - I support the development with some concerns (detail below)
 - I oppose the development

The specific reasons I believe that planning consent should be refused are:

2D Northbrook Avenue is Zoned as an 'Established Neighbourhood'. Further, it is subject to the Historic Area (Un8) Overlay.¹

Established Neighbourhood Zone:

Pursuant to the provisions of the Established Neighbourhood Zone, there are two desired outcomes with respect to developments at this address:

1. *A neighbourhood that includes a range of housing types, with new buildings **sympathetic to the predominant built form character and development pattern.***
2. ***Maintain the predominant streetscape character, having regard to key features such as roadside plantings, front yards and space between crossovers.***

Forestville is a tightly held area, with about 90% of the dwellings on Victoria Street being Victorian style villas or workers cottages. Whilst some 'out of character' developments were approved between the 1960s and 1990s, those structures would not be approved today. Nor should the applicant rely on those mistakes of the past, to support their current application.

¹ State Government Planning Port, PlanSA Development and Zoning (current from 19 March 2021).



We object to the following parts of the development, for the following reasons:

Building Height:

1. Performance Outcome 4.1 provides that 'Buildings contribute to the prevailing character of the neighbourhood and complements the height of nearby buildings'.

The second story is a 'pagoda' style roof. It does not fit with the character of the streetscape nor the prevailing character of the neighbourhood, nor does it compliment the height of nearby buildings.

The 3 buildings alongside of the proposed development site (2A, 2B and 2C Northbrook Avenue) each have lower building heights.

Whilst the building heights of other dwellings along Victoria Street are of a similar height (particularly Victorian villas), they are all single story dwellings and the roof line is a single structure.

Alternatively, a more sympathetic approach would be for the second story to be within the main roof line. It is also not clear what the outer walls of the second story would be clad in, which is even more concerning, given the large expanse of brick which runs down the Victoria Street boundary (see below re: Victoria Street boundary issue). This would be in keeping with most, if not all of the other villas and cottages along Victoria Street.

2. Performance Outcome 4.2 provides that 'Additions and alterations do not adversely impact on the streetscape character'.

Victoria Street is the main street which runs through Forestville. As indicated earlier in this document, this street is characterised by established character villas and 'workers' cottages, most of which have been restored to their former glory over time.

Victoria Street runs the length of the whole of the suburb of Forestville. It has been described as the 'jewel of Forestville'. Given that the majority of homes which run along this street (some 90%) are made up of the aforementioned types of character homes, the 'pagoda' style second level will adversely impact upon the streetscape not only of Victoria Street, but the whole of the suburb of Forestville.

Secondary Street Setback:

3. Performance Outcome 6.1 provides that 'Buildings are set back from secondary street boundaries (not being a rear laneway) to maintain the established pattern of separation between building and public streets and reinforce streetscape character'.

The majority of properties along Victoria Street are set back a minimum of 3 metres.

The boundary of this building appears to be only 1 metre.

There is not a single other dwelling along the whole of Victoria Street (including both Forestville or Goodwood and including all corner properties), which has their boundary this close to the street.²

The fact that it runs the entire length of the property, further exacerbates the problem, and interrupts the established pattern of separation between buildings and public streets and, rather than *reinforcing the streetscape character*, it destroys it.

Historic Area Overlay

Forestville has been identified, along with Fullarton, as being one of two Historic Areas affecting the City of Unley.

The Historic Area Overlay identifies localities that comprise characteristics on an identifiable history, economic and/or social them of recognised importance. They can comprise land divisions, development patterns, built form characteristics and natural features that provide a legible connection to the historic development of a locality.

These attributes are identified in the table attached to Appendix 1.³

Forestville is not a large suburb. PlanSA describe it as 'Compact'. As such, any new development, proportionally, has the potential to have a greater impact.

A compromise could include the following:

1. The secondary street boundary wall be set back further from the street (Victoria Street) so as to be in keeping with the other properties along Victoria Street.
2. That the 'pagoda' style second story be altered so that it fits within the existing roof line which would be more in keeping with the Historic architectural form of the area (as identified by the Historical Overlay).
3. That the expanse of brick wall of the dwelling on Victoria Street be altered so that it fits with the rest of the streetscape and identified architectural form, which 'Victorian/Turn-of-Century/Inter-War style' (as identified by the Historical Overlay).
4. That the fence on the Victoria Street be altered so that it fits with the rest of the streetscape and is more typical of the historic character of the area. Eg; timber picket, hedge or fences that are otherwise more open.

² This does not include two properties which do have their building boundary set on the street, but those are both properties which were built in around early 1900 and were shops which have been developed into homes.

³ State Government Planning Port, PlanSA Development and Zoning (current from 19 March 2021).

[attach additional pages as needed]

Note: In order for this submission to be valid, it must:

- be in writing; and
- include the name and address of the person (or persons) who are making the representation; and
- set out the particular reasons why planning consent should be granted or refused; and
- comment only on the performance-based elements of the proposal, which does not include the:
 - Click here to enter text. *[list any accepted or deemed-to-satisfy elements of the development]*.

- I:
- wish to be heard in support of my submission*
 - do not wish to be heard in support of my submission

Appendix 1.

Historic Area (Un8) Overlay

Eras, themes and context	1880 to 1940 built development.
Allotments, subdivision and built form patterns	Simple grid layout pattern, with longitudinal axis perpendicular to narrow roads. Regular allotments and site frontages. Prevailing and coherent rhythm of building siting, street setbacks, side boundary setbacks, spacing between buildings and garden landscape setting.
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Fencing	Typical of the historic character of the area, street and architectural style and materials of the associated building. Where forward of the front façade of the principle building, low in height, typically less than 1.0 metre but up to 1.2 metres. Larger sites and of more than 16 metres street frontage may include vertical elements up to 1.8 metres in total height. Open, see-through and maintaining an open streetscape presence of the associated building, including typical styles comprising: Timber picket, dowel or paling with top rail; Corrugated iron or mini orb or steel strap panels within timber framing and posts; Woven crimped wire, wire mesh on timber or galvanised steel tube framing; Simple masonry plinth (500mm) and widely spaced minimum numbers of piers with decorative see-through iron palisade or steel bar inserts; Stone, brick and/or stucco masonry low in height with wrought iron or steel bar inserts (typically geometric pattern); hedges, with or without fencing.
Setting, landscaping, streetscape and public realm features	Compact streetscape character, narrow verges, and modest street trees.

ATTACHMENT 3

6 February 2023

Ref: 22-064_RTR Version C

Ms Amelia DeRuvo
Planning Officer
City of Unley
245 Sturt Road
STURT SA 5047

Dear Amelia,

**Re: DA 22030507 - Construction of a two storey Detached Dwelling -2D Northbrook Avenue,
Forestville**

I write on behalf of the applicant, Eastern Building Group, for the proposed development at the above-mentioned address. We have been engaged by Eastern Building Group to respond to the Letters of Representations (the **Representations**) received by Council during the public notification of the above-mentioned Development Application.

We note eight (8) representations were received during the notification period from:

- [REDACTED]
- [REDACTED]
- [REDACTED]
- [REDACTED]
- [REDACTED]
- [REDACTED]
- [REDACTED]
- [REDACTED]

In response to the above representations additional information has been prepared and some changes made including:

- Attachment A: Streetscape elevations showing the proposal within the context of the Victoria Street and Northbrook Avenue
- Attachment B: A streetscape 3D image showing the proposal and its materials within the context of the streetscape
- Changes to the external materials and finishes
- Clarification of the front fencing proposed

Summary of Representations

The following is our summary of representations submitted by the above parties; hereafter referred as the **Representors**.

All the representors submitted the same compiled document advising that they oppose the development. The consistent matters raised relate to ensuring that new development accords with the built form rhythm and envisaged streetscape character. These matters extend to the proposed building height, secondary street setbacks and ensuring that materials and fencing details also accord with the Heritage Area.

The representors made several suggestions on how to mitigate the appearance of the upper floor elements by increasing the ground wall heights and integrating the second storey further within the roof element. Moreso, they also made suggestions on the materials and fencing details, and that the selected materials accord with the materials identified within the Heritage Area Statement.

Applicant Response

The Applicant appreciates the concerns expressed by the representors and have made some amendments to the materials and finishes however they maintain that the other concerns are not justified.

Streetscape Character

The land has primary frontage to Northbrook Avenue and is currently characterised by a vacant allotment. Its division arrangement is unique, approved under DA 090/D038/17, for a 2 into 4 Torrens title division, which re-orientated the two existing allotments to present to Northbrook Avenue instead of Victoria Street. The subject land, as a corner allotment, has a secondary street presentation to Victoria Street which is an inconsistent allotment pattern with the remainder of the Victoria Street streetscape where all the allotments have primary frontages to Victoria Street.

Victoria Street and Northbrook Avenue are both characterised by their broad single carriageway, formed pedestrian sidewalk, and the well-established street trees that create an intimate relationship between the road network and leafy suburban gardens of the many residences. This character is identified within the Historic Area Statement, which identifies that fencing is of a lower built form up to a metre in height to provide lines of sight across front gardens allowing the gardens to contribute to the overall streetscape.

The proposed two-storey dwelling has a predominant ground floor footprint presentation to Northbrook Avenue, its primary street. The proposal makes suitable use of its contemporary architectural expression, and in my opinion, a modern interpretation of a single fronted cottage in a manner that benefits the dwellings contribution to the amenity of Northbrook Avenue.

I note within the context of the junction of Northbrook Avenue and Victoria Street, that the corner residences nearby at 1 Northbrook, 50A Victoria and 42 Victoria contain all the same material as that proposed, contain limited external fenestration in the manner of windows or doors, and visual outlook as the proposed dwellings secondary frontage presentation.

On balance, I do not agree with the representors concerns relating to the secondary street presentation. The single fronted design of the dwelling is symmetrical in form in keeping with that sought by the Historic Area. Its horizontal planes and proportions provide a contemporary interpretation of federation style bullnose verandas and reinforces the attributes of the streetscape amenity considered valuable without use of imitation designs: dappled shade, wall heights, wide eaves, horizontal plane division with articulated elements.

The proposals wall heights reinforce the consistent rhythm of federation homes nearby, and with reference to 59 Victoria Street, help reinforce a pattern of wall heights that has been remiss since the construction of infill development at 2A, 2B and 2C Northbrook Avenue with their 2.7 metre wall heights. Furthermore, the wall heights will be consistent with the imitation federation dwellings opposite, at 1, 3 & 5 Northbrook Avenue and thus re-establish a built form wall height rhythm of around 3.3 metres at the junction of Northbrook Avenue and Victoria Street.

At the streetscape level, the Code places emphasis on dwellings achieving a built form appearance that is *“sympathetic to the wall height, roof form and roof pitches of the predominant housing stock of the locality”*. It is for these reasons that the wall height, or roof pitch of the dwelling should not be further increased in height to further integrate the upper floor within the roof space as suggested by the representors. Such a design decision would over accentuate the already slender profile of the building



within its compact site as it would require the increase of wall heights further or provision of a steeper roof pitch that would result in a design unbecoming of the consistent roof pitch and wall profile rhythm of Northbrook Avenue and Victoria Street that what is sought to be enhanced and maintained.

Second Storey Element

The Code provides policy structure to ensure that dwellings within the Established Neighbourhood maintain a predominant ground floor footprint, which is geared by policy that seeks residential development to *“contribute to the prevailing character of the neighbourhood and complements the height of nearby buildings”* (PO 4.1). Upper floor additions are provided Code policy structure within the Established Neighbourhood Zone which provides an assessment structure to consider their merits. Within the Established Neighbourhood Zone, I refer to DPF 8.1 *“Minimum side boundary setback is 1m for the first building level; 3m for any second building level or higher”*.

We note that the representors have suggested the development is a ‘pagoda’. We do not replicate the representors comments, however, note that the primary street presentation is the critical determining factor in determining the single storey presentation of dwellings within the Code. Second storey elements behind the primary street presentation are sought to be set back in accordance with Code requirements and suitably sited within the ground floor roof form. The proposed second building level satisfies Zone DPF 6.1, 8.1 and 9.1. The proposal has been amended to include material finishes which match the colour of the roof sheet metal to assist in reducing the evidence of the upper second storey element to the secondary street frontage. This material detailing is expanded upon below.

Landscaping and Fencing

The applicant has prepared an annotated landscaping proposal for the consideration of Council. This landscaping proposal involves a broad range of plants, namely:

- Prunus Cerasifera, a cherry plum tree (mature height of 5 metres),
- Pyrus Ussuiensis, Manchurian pear (mature height of 9 metres),
- Morus Nigra, Weeping Mulberry (mature height of 3 metres),
- Convolvus Mauritanicus (mature height of 400mm)
- Dietes Iridiodides (mature height of 500mm)
- Murraya Paniculata (mature height of 2.5 metres)
- Nandina Domestica (mature height of 600mm)
- Dianella Prunina (mature height of 100mm)
- Ficus Primila (mature height of 100mm)
- Lobelia Erinus (mature height of 100mm)
- Lomandra (mature height of 100mm)
- Myoporum Parvifolium (mature height of 100mm)
- Thymus Longicaulia (mature height of 100mm).

On the basis of the above plant list, I provide the following consideration of the ‘leafy green’ elements of the proposal and their contribution to the streetscape.

The prepared arrangement of the house has ensured that the primary frontage of the residence is entirely landscaped with a garden bed of a maximum depth of 4.5 metres to the presentation of Northbrook Avenue and Victoria Street. The areas prepared for landscaping are, in my view capable of supporting deeper landscaping beds with mulch where it appears that a sequential staggering of plant species has been proposed. At first, edge planting treatments with shaped and trimmer *Nandina domestica*, and thereafter Manchurian pears and cherry plum trees with undercover growth including *Thymus longicaulia*. This arrangement is sequential and formal and will present to Northbrook Avenue and Victoria Street in a contemporary manner, with regular pruning and shaping, will result in hedge arrangements interspersed with trees and lawn.



The proposal involves an indicative fencing plan showing the construction of a masonry pier wall and tubular slat fencing. This fence returns around the corner cut off to Victoria Street, improving the pedestrian experience and presenting the garden as an element that contributes to the streetscape. Tube fencing is a regular, and recommended element of the Historic Area Statement. Various colours of low-form walling are evident in the locality and tubing profile also varies.

Materials

Materials proposed within the design are consistent in colour and support the textural details sought to be enhanced and retained.

- Roofing – Shale Grey matte – Custom Orb profile
- Gutters and fascia – Shale Grey matte
- Window frames – monument matte
- Parallel flange channel – monument matte
- Brick – Red Brick
- Rendered brick piers – Shale Grey half strength
- Rendered piers – Grey Reflection
- Rendered foam sheeting – Shale Grey half strength
- Brick Fencing – rendered piers and plinth with infills with tubular blades
- Fencing – Basalt Grey

The locality comprises a distinct mix of creams, greys, and off whites in neutral tones. Regular heritage colours return, with my favourite specific detail being the coloured gutters in federation favourites Brunswick Green and Barossa Red. The prepared colour palette in neutral greys, off whites and matte blacks should suitably acclimate within the character of the surrounding area. Accentuated colours in monument black are used in limited detail to fenestrated elements, in matte finishes, which allows the neutral colours of the buildings walls to be the predominant colours. Selection of brick in strong reds will add interest to the wall face presentation where visible to Victoria Street.

The red brick supports the masonry material detailing sought to occur as outlined within the Heritage Area Statement. I note the prominence of brick walls, particularly red brick is a distinct feature of the locality, and immediate reference to on-boundary brick walls in the beautifully built semi-detached residences at 50-50A Victoria Street to the north-west as reference to this being an expected feature and display of material.

Infill development along Northbrook Avenue, and some replacement roof sheet colour profiles on Victoria Street in monument do not maintain or reinforce the amenity of the Historic Area. The proposed roof sheet in Shale Grey matte, a non-reflective sheet profile, is a complementary colour to the galvanised custom orb, slate grey, greens and Barossa Red sheet profiles along Northbrook Avenue and Victoria Street.

On balance, and with review of the subject land and locality and the Historic Area Statement, I do not agree with the representors concerns on the detailing of brick walls to the secondary street frontage. This is an envisaged, sought after, and regular material detail within the context of the locality and is sought to occur by the Code. Overall, I consider that the selection of materials “are consistent with or complement those within the historic area” (PO 2.5) of the Heritage Area Overlay.

Other Matters

We note that the representor contends that the proposal involves a boundary wall requiring the alteration to their fence. A review of the provided plans shows the development involves no boundary walls. Matters relating to fencing, or fencing items are a civil matter between landowners under the *Fences Act 1975* and does not form a component of the current assessment under the *Planning, Development and Infrastructure Act 2016*.



Conclusion

Contrary to the concerns expressed in the Letters of Representation the proposed development's streetscape context, second storey element, landscaping and fencing, and materials satisfy Performance Outcome PO 4.1 of the Planning and Design Code and the Historic Area Statement.

We consider the Applicant has exhibited considerable empathy to the Code and the concerns expressed in the Letters of Representations and consider that the proposal will not unreasonably impact upon the existing amenity of other residential properties which surround the subject land.

Our client wishes to be heard to respond to any verbal representations presented to the CAP and we await Council's further notification on the matter.

Should you have any questions in respect to the above or require any further information please do not hesitate to contact the undersigned on 8211 9776.

Yours sincerely,

[Redacted signature block]

[Redacted contact information]



DECISION REPORT

REPORT TITLE: Analysis of Planning and Design Code Application assessed under Delegation of the Panel.

DATE OF MEETING: 21 February 2022

AUTHOR: Nicholas Bolton

JOB TITLE: Cadet Planner

RECOMMENDATION:

That:

1. The Report be noted.

DISCUSSION

At its meeting on 8 February 2022, the Panel considered a report analysing applications under the Planning, Development and Infrastructure (PDI) Act that had been lodged during 2021, since the introduction of the PDI Act and Planning and Design Code (Code) for metropolitan councils on 19 March 2021.

The following statistics cover development applications lodged in the 2022 calendar year.

Application Lodgements

Figure 1 shows the number of applications lodged by month, including a 5-year average and totals for 2021 and 2022, whilst figure 2 shows the total number of applications lodged per year. The 2022 lodgements track the 5-year average until a divergence occurs in June, from which point (August aside) the applications lodged per month are noticeably less than the 5-year average. The Reserve Bank's decision to start lifting the cash rate in May 2022, and supply issues for materials may have contributed to the downturn in development applications lodged.

Applications Lodged

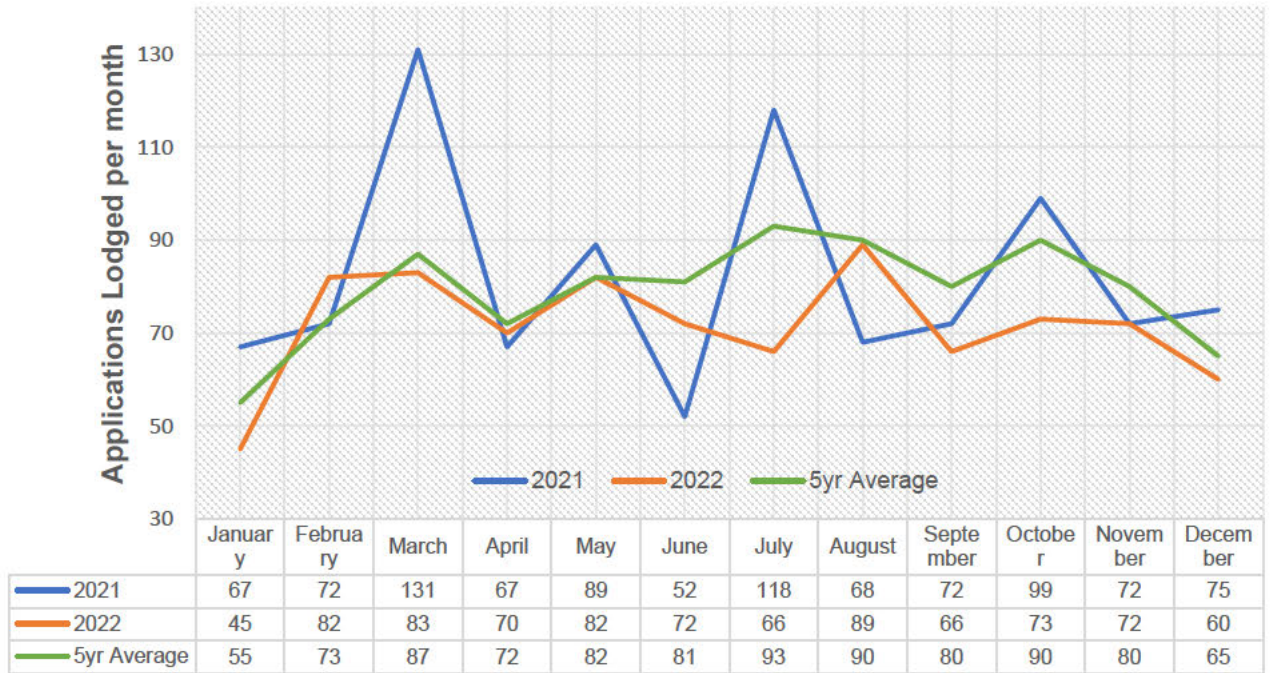


Figure 1: Applications lodged - data supplied by Gary Brinkworth

Development Applications Lodged

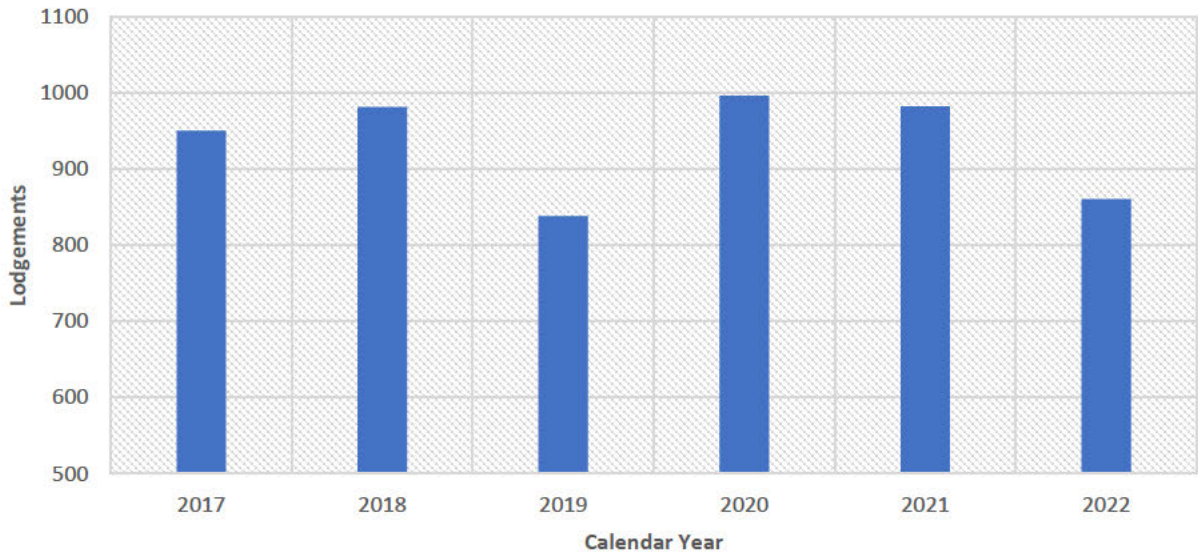


Figure 2: Total applications lodged per year - data supplied by Gary Brinkworth

Public Notification

Figure 3 shows that public notifications have trended upwards over the course of 2022, with a clear increase in the second half of the year.

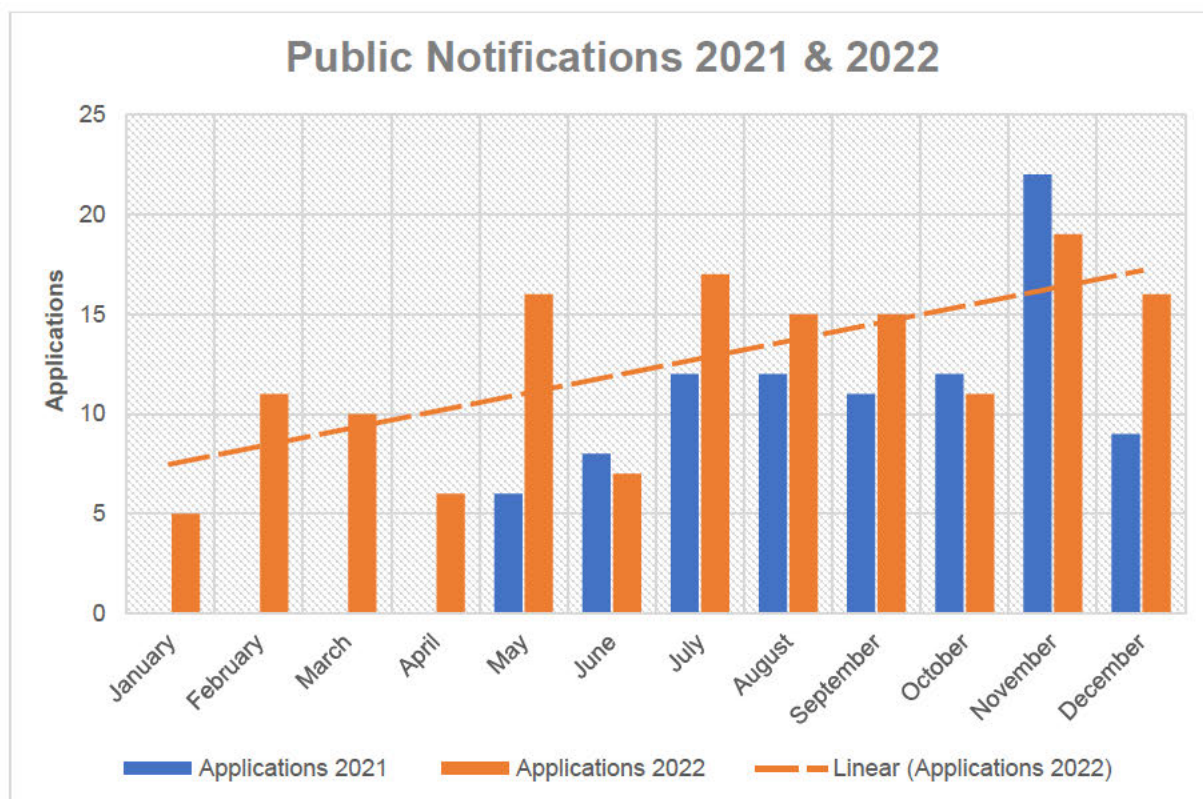


Figure 3: Public Notification Trend

As figure 4 shows, the share of applications going to notification in 2022 was considerably higher than in 2021.

Year	% of applications
2021	9.90%
2022	17%

Figure 4: Share of Publicly Notified Applications

One factor that contributed to this trend was the legal clarification of the P & D Code's Public Notification Table, which has limited the ability of the Relevant Authority to deem certain forms of development as 'minor' and therefore not requiring Public Notification.

Development Categories

Figure 5 shows that the majority of applications lodged were assessed under a Performance Assessed pathway. The extent of the Historic Area Overlay in the Council area (approximately 80% of the City) is the primary reason for this. In zones without the Overlay, smaller scale forms of development such as carports, verandahs and outbuildings would only require building consent, or a Deemed To Satisfy planning assessment.

There has not been a significant change in the categories of development compared to 2021 as shown in figure 6.

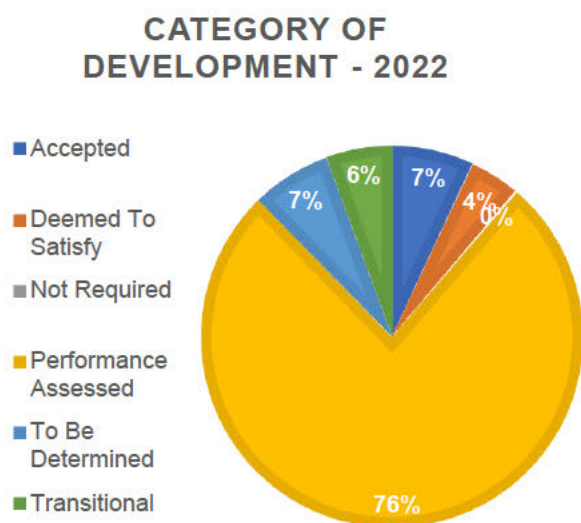


Figure 5: Category of Developments - 2022

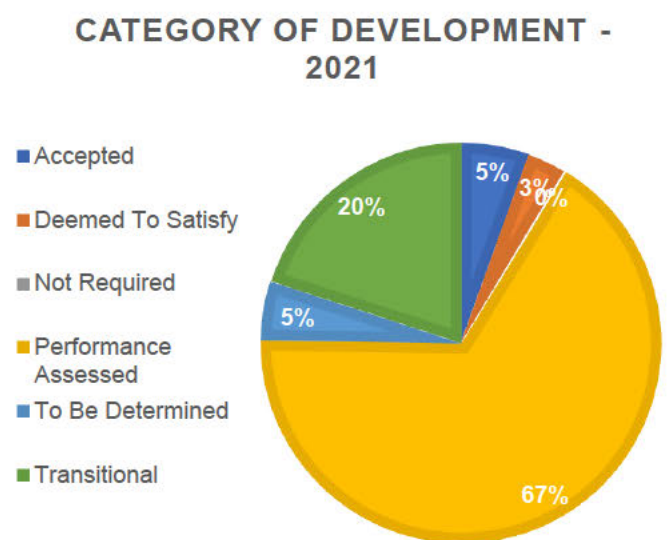


Figure 6: Category of Development 2021